(PPSSSH-62) - (1-21 Dillwynnia Grove Heathcote)

(MA21/0051)

ASSESSMENT REPORT APPENDICES

Appendix	A	Conditions of Consent to be Modified
	B	Public Submissions
	C	Heritage Council of NSW – General Terms of Approval
	D	Rural Fire Service Response (07 June 2021)
	E	Architectural Plans

Appendix A

Conditions of Consent to be Modified

(Delete where in ~~Strikethrough~~ / Add where **Bold**)

1. Approved Plans and Documents

The development must be undertaken substantially in accordance with the details and specifications set out on the following plans except where they are the subject of the deferred commencement condition/s:

Plan number/ Reference	**Title**	**Prepared by**	**Date**
~~Project Number IA1633 DA00 Cover Sheet Issue I~~ **Project No P20-056 MOD00 Revision A**	Cover Sheet	~~Ink Architects~~ **DesignInc**	~~27 August 2919~~ **15/01/2021**
~~Project Number IA1633 DA01 Site Plan Roof Plan Issue I~~ **Project No P20-056 MOD01 Revision A**	Site Plan Roof Plan	~~Ink Architects~~ **DesignInc**	~~27 August 2019 - *received by Council 29 October 2019*~~ **15/01/2021**
Project Number IA1633 DA02 Issue A	Demolition Plan	Ink Architects	5/12/2017
~~Project Number IA1633 DA05 Issue I~~ **Project No P20-056 MOD05 Revision A**	~~Lower Basement Floor Plan - B2~~ **Lower Basement B2**	~~Ink Architects~~ **DesignInc**	~~Amended by Council 25 September 2019~~ **15/01/2021**
~~Project Number IA1633 DA06 Issue I~~ **Project No P20-056 MOD06 Revision A**	~~Basement Floor Plan - B1~~	~~Ink Architects~~ **DesignInc**	~~Amended by Council 25 September 2019~~ **15/01/2021**

	Lower Basement B1		
~~Project Number IA1633 DA07 Issue I~~ **Project No P20-056 MOD07 Revision A**	Ground Floor Plan	~~Ink Architects~~ **DesignInc**	~~Amended by Council 25 September 2019~~ **15/01/2021**
~~Project Number IA1633 DA07 CMP Issue I~~	~~Ground Floor Plan CMP~~	~~Ink Architects~~	~~27 August 2019~~
~~Project Number IA1633 DA08 Issue I~~ **Project No P20-056 MOD08 Revision A**	First Floor Plan	~~Ink Architects~~ **DesignInc**	~~27 August 2019~~ **15/01/2021**
~~Project Number IA1633 DA08 CMP Issue I~~	~~First Floor Plan CMP~~	~~Ink Architects~~	~~27 August 2019~~
Project Number IA1633 DA09 Issue I **Project No P20-056 MOD09 Revision A**	Second Floor **Plan**	~~Ink Architects~~ **DesignInc**	~~27 August 2019~~ **15/01/2021**
~~Project Number IA1633 DA09 CMP Issue I~~	~~Second Floor CMP~~	~~Ink Architects~~	~~27 August 2019~~
~~Project Number IA1633 DA10 Issue I~~ **Project No P20-056 MOD10 Revision A**	East, North, West ~~and~~ **&** South Elevations	~~Ink Architects~~ **DesignInc**	~~Amended by Council 30 October 2019~~ **15/01/2021**
~~Project Number IA1633 DA11 Issue I~~ **Project No P20-056 MOD11 Revision A**	Sections A-A. B-B, C-C ~~and~~ **&** D-D	~~Ink Architects~~ **DesignInc**	~~27 August 2019 - *received by Council 29 October 2019*~~ **15/01/2021**
~~Project Number IA1633 DA12 Issue 1~~ **Project No P20-056 MOD12 Revision A**	Sections E-E, F-F, G-G, & , I-I	~~Ink Architects~~ **DesignInc**	~~27 August 2019~~ **15/01/2021**

~~Project Number IA1633 DA13 Issue I~~ **Project No P20-056 MOD13 Revision A**	Sections H-H, J-J, K-K	~~Ink Architects~~ **DesignInc**	~~27 August 2019 *- received by Council 29 October 2019*~~ **15/01/2021**
~~Project Number IA1633 DA16 Issue 1~~	~~Adaptable and Livable Dwellings~~	~~Ink Architects~~	~~27 August 2019~~
Project No P20-056 MOD15 Revision A	**FSR Calculations**	**DesignInc**	**15/01/2021**
Project No P20-056 MOD16 Revision A	**Adaptable Townhouse 7, 8, 11 & 12**	**DesignInc**	**15/01/2021**
Project No P20-056 MOD17 Revision A	**Adaptable Townhouse 13, 14, 22 & Apartment B101, B103, B201, B203**	**DesignInc**	**15/01/2021**
~~Project Number IA1633 DA20 Issue I~~ **Project No P20-056 MOD20 Revision A**	Material Finishes Board	~~Ink Architects~~ **DesignInc**	~~27 August 2019~~ **15/01/2021**
~~Project Number IA1633 DA21 Issue D~~	~~Material Finishes~~	~~Ink Architects~~	~~20 March 2019~~
~~Project Number IA1633 DA29 Issue I~~	~~Wayfinding~~	~~Ink Architects~~	~~28 August 2019~~
Project No P20-056 A2050	**External Details - Substation**	**DesignInc**	**15/01/2021**
Project No P20-056 A2051 Revision A	**External Details –**	**DesignInc**	**15/01/2021**

	Hydrant Booster		
Project Number 1609	Schedule of Drawings	Tropman and Tropman Architects	23/11/2017
Project 1609	Location	Tropman and Tropman Architects	23/11/2017
EX100 Revision F Project1609	Existing Site Plan	Tropman and Tropman Architects	23/11/17
EX101 Revision F Project1609	Ground Floor	Tropman and Tropman Architects	23/11/17
EX102 Revision F Project1609	Existing First Floor	Tropman and Tropman Architects	23/11/17
EX110 Revision F Project1609	Existing Elevations S-W	Tropman and Tropman Architects	23/11/17
EX111 Revision F Project1609	Existing Elevation S-E	Tropman and Tropman Architects	23/11/17
EX112 Revision F Project1609	Existing Elevation N-W	Tropman and Tropman Architects	23/11/17
EX113 Revision F Project1609	Existing Elevation N-E	Tropman and Tropman Architects	23/11/17
PR.200 Revision F Project1609	Existing Roof Plan	Tropman and Tropman Architects	23/11/17

PR 201 Revision F Project1609	Proposed Ground Floor Plan	Tropman and Tropman Architects	23/11/17
PR 202 Revision F Project1609	Proposed First Floor Plan	Tropman and Tropman Architects	23/11/17
PR 210 Revision F Project1609	Proposed Elevation S-W	Tropman and Tropman Architects	23/11/17
PR 211 Revision F Project1609	Proposed Elevation N-W	Tropman and Tropman Architects	23/11/17
PR 212 Revision F Project1609	Proposed Elevation N-E	Tropman and Tropman Architects	23/11/17
PR 213 Revision F Project1609	Proposed Elevation S-E	Tropman and Tropman Architects	23/11/17
~~DA-C01.01 Revision 5~~	~~Cover Sheet, Drawing Schedule and Locality Plan~~	~~Northrop~~	~~16/2/18~~
~~DA-C02.01 Revision 5~~	~~Concept Sediment and Erosion Control Plan~~	~~Northrop~~	~~16/2/18~~
~~DA-C02.11 Revision 5~~	~~Sediment and Erosion Control Details~~	~~Northrop~~	~~16/2/18~~
~~DA-C04.01 Revision 7~~	~~Stormwater Management Plan~~	~~Northrop~~	~~20/5/19~~
~~DA-C04.61 Revision 5~~	~~Stormwater Management Devices-OSD 1-Sheet 1~~	~~Northrop~~	~~16/2/18~~

~~DA-C04.62 Revision 6~~	~~Stormwater Management Devices- OSD1 - Sheet 2~~	~~Northrop~~	~~20/5/19~~
~~DA-C04.71 Revision 6~~	~~Stormwater Management Devices OSD 2- Sheet 1~~	~~Northrop~~	~~20/5/19~~
~~DA-C04.91 Revision 1~~	~~Pre- Development Stormwater Catchment Plan~~	~~Northrop~~	~~16/2/18~~
~~DA-C04.92 Revision 5~~	~~Post Development Stormwater Catchment Plan~~	~~Northrop~~	~~16/2/18~~
~~DA-C05.61 Revision 5~~	~~Site works General Arrangement Plan~~	~~Northrop~~	~~16/2/18~~
~~DA-C05.71 Revision 5~~	~~Siteworks Driveway Plan Sheet 1~~	~~Northrop~~	~~16/2/18~~
~~DA-C05.72 Revision 4~~	~~Siteworks Driveway Plan Sheet 2~~	~~Northrop~~	~~16/2/18~~
C-01-01 Revision 4	**Drawing Schedule, Legend and Locality Plan**	**SCP Consulting**	**16/12/20**
C-01-02 Revision 4	**Specification Notes**	**SCP Consulting**	**16/12/20**
C-03-01 Revision 4	**Siteworks and Grading Plan**	**SCP Consulting**	**16/12/20**
C-03-11 Revision 4	**Pavement Plan**	**SCP Consulting**	**16/12/20**
C-03-51 Revision 3	**Siteworks Details**	**SCP Consulting**	**16/12/20**
C-04-11 Revision 3	**Typical Sections**	**SCP Consulting**	**16/12/20**

C-04-21 Revision 3	**Driveway Long Sections – Sheet 01 of 03**	**SCP Consulting**	**16/12/20**
C-04-22 Revision 3	**Driveway Long Sections – Sheet 02 of 03**	**SCP Consulting**	**16/12/20**
C-04-23 Revision 3	**Driveway Long Sections – Sheet 03 of 03**	**SCP Consulting**	**16/12/20**
C-05-01 Revision 4	**Stormwater Drainage Layout Plan**	**SCP Consulting**	**16/12/20**
C-05-21 Revision 3	**Stormwater Catchment Plan**	**SCP Consulting**	**16/12/20**
C-05-61 Revision 4	**Stormwater Details**	**SCP Consulting**	**16/12/20**
C-06-01 Revision 4	**Sediment and Erosion Control Plan**	**SCP Consulting**	**16/12/20**
C-06-11 Revision 4	**Sediment and Erosion Control Details**	**SCP Consulting**	**16/12/20**
~~L-02 Issue D~~	~~Heritage Survey / Site Analysis~~	~~Site Design + Studios~~	~~11/12/2017~~
~~L-03 Issue D~~	~~Heritage Survey Site / Analysis~~	~~Site Design + Studios~~	~~11/12/2017~~
~~L-04 Issue D~~	~~Heritage Survey / Site Analysis~~	~~Site Design + Studios~~	~~11/12/2017~~
~~L-05 Issue D~~	~~Heritage Survey / Site Analysis~~	~~Site Design + Studios~~	~~11/12/2017~~
~~L-06 Issue C~~	~~Heritage Concept Plans - Italianate~~	~~Site Design +Studios in~~	~~Received by Council on 20 March 2018~~

		~~coordination with Michael Lehany~~	
~~L-07 Issue D~~	~~Heritage Garden/ CMP Reference~~	~~Site Design + Studios~~	~~Received by Council on 20 March 2018~~
~~L-7A Issue D~~	~~Heritage - CMP~~	~~Site Design + Studios~~	~~Received by Council on 20 March 2018~~
~~L-09 Issue E~~	~~Site Analysis~~	~~Site Design + Studios~~	~~19/3/18~~
~~L-10 Issue E~~	~~Interpretation~~	~~Site Design + Studios~~	~~19/3/18~~
~~L-11 Issue E~~	~~Landscape Masterplan~~	~~Site Design + Studios~~	~~19/3/18~~
~~L-12 Issue D~~	~~Landscape Plans Levels~~	~~Site Design + Studios~~	~~11/12/2017~~
~~L-12A Issue E~~	~~Landscape Plans - Hydraulics~~	~~Site Design + Studios~~	~~19/3/18~~
~~L-13 Issue E~~	~~Landscape Plan - Details~~	~~Site Design + Studios~~	~~19/3/18~~
~~L-14 Issue E~~	~~Existing Trees Plan~~	~~Site Design + Studios~~	~~19/3/18~~
~~L-14A Issue E~~	~~Existing Trees Plan~~	~~Site Design + Studios~~	~~Received by Council on 20 March 2018~~
~~L-15 Issue E~~	~~Existing Tree Report - Draft~~	~~Site Design + Studios~~	~~Received by Council on 20 March 2018~~
~~L-16 Issue E~~	~~Incursions~~	~~Site Design + Studios~~	~~19/3/18~~
~~L-17 Issue E~~	~~Planting Area Plan~~	~~Site Design + Studios~~	~~Received by Council on 20 March 2018~~

~~L-18 Issue E~~	~~Plant List~~	~~Site Design + Studios~~	~~Received by Council on 20 March 2018~~
~~L-19 Issue E~~	~~Landscape Plans - Materials~~	~~Site Design + Studios~~	~~Received by Council on 20 March 2018~~
~~L-20 Issue E~~	~~Details~~	~~Site Design + Studios~~	~~Received by Council on 20 March 2018~~
~~L-21 Issue E~~	~~Sections~~	~~Site Design + Studios~~	~~Received by Council on 20 March 2018~~
~~L-22 Issue F~~	~~Heritage Paths~~	~~Site Design + Studios~~	~~18/9/18~~
LA-01 Revision A	**Landscape Package Cover Sheet**	**DesignInc**	**15/01/2021**
LA-02 Revision A	**Site Calculations**	**DesignInc**	**15/01/2021**
LA-03 Revision A	**Landscape Master Plan**	**DesignInc**	**15/01/2021**
LA-04 Revision A	**Landscape Master Plan**	**DesignInc**	**15/01/2021**
LA-05 Revision A	**Proposed Levels**	**DesignInc**	**15/01/2021**
LA-06 Revision A	**Detail Design Concepts**	**DesignInc**	**15/01/2021**
LA-07 Revision A	**Proposed Materials**	**DesignInc**	**15/01/2021**
LA-08 Revision A	**Trees to be Removed and Retained**	**DesignInc**	**15/01/2021**
LA-09 Revision A	**Trees to be Retained with TPZ and SRZ**	**DesignInc**	**15/01/2021**

LA-10 Revision A	**Planting Areas**	**DesignInc**	**15/01/2021**
LA-11 Revision A	**Plant Schedule**	**DesignInc**	**15/01/2021**
LA-12 Revision A	**Landscape Sections**	**DesignInc**	**15/01/2021**
LA-13 Revision A	**Landscape Sections**	**DesignInc**	**15/01/2021**
LA-14 Revision A	**Landscape Sections**	**DesignInc**	**15/01/2021**
Fencing Revision A	**Fencing**	**DesignInc**	**15/01/2021**
LA-15 Revision A	**Fencing Details Sheet One**	**DesignInc**	**15/01/2021**
LA-17 Revision A	**Fencing Details Sheet Two**	**DesignInc**	**15/01/2021**
LA-18 Revision A	**Fencing Details Sheet Three**	**DesignInc**	**15/01/2021**
LA-19 Revision A	**Fencing Details Sheet Four**	**DesignInc**	**15/01/2021**
LA-20 Revision A	**Fencing Details Sheet Five**	**DesignInc**	**15/01/2021**
LA-21 Revision A	**Fencing Details Sheet Six**	**DesignInc**	**15/01/2021**
~~Project Number IA1633 DA17 Issue A~~	~~Project Perspectives~~	~~INK Architects~~	~~7/12/2017~~
Reference: 170224 DSP ~~Issue 1~~ **Issue 10** Sheet 1 of 14	Location Plan	~~Tasy Moraitis~~ **Adam Richardson**	~~Printed 18 May 2018~~ **Printed 23 Nov 2020**
Reference: 170224 DSP ~~Issue 1~~ **Issue 10** Sheet 2 of 14	~~Lower Basement Plan~~ **Basement Level 2**	~~Tasy Moraitis~~ **Adam Richardson**	~~Printed 18 May 2018~~ **Printed 23 Nov 2020**

Reference: 170224 DSP ~~Issue 1~~ **Issue 10** Sheet 3 of 14	Basement Level 1	~~Tasy Moraitis~~ **Adam Richardson**	~~Printed 18 May 2018~~ **Printed 23 Nov 2020**
Reference: 170224 DSP ~~Issue 1~~ **Issue 10** Sheet 4 of 14	Basement Level 1	~~Tasy Moraitis~~ **Adam Richardson**	~~Printed 18 May 2018~~ **Printed 23 Nov 2020**
Reference 170224 DSP ~~Issue 1~~ **Issue 10** Sheet 5 of 14	Basement Level 1	~~Tasy Moraitis~~ **Adam Richardson**	~~Printed 18 May 2018~~ **Printed 23 Nov 2020**
Reference 170224 DSP ~~Issue 1~~ **Issue 10** Sheet 6 of 14	Ground Level	~~Tasy Moraitis~~ **Adam Richardson**	~~Printed 18 May 2018~~ **Printed 23 Nov 2020**
Reference 170224 DSP ~~Issue 1~~ **Issue 10** Sheet 7 of 14	Ground Level	~~Tasy Moraitis~~ **Adam Richardson**	~~Printed 18 May 2018~~ **Printed 23 Nov 2020**
Reference 170224 DSP ~~Issue 1~~ **Issue 10** Sheet 8 of 14	Ground Level	~~Tasy Moraitis~~ **Adam Richardson**	~~Printed 18 May 2018~~ **Printed 23 Nov 2020**
Reference 170224 DSP ~~Issue 1~~ **Issue 10** Sheet 9 of 14	Level 1	~~Tasy Moraitis~~ **Adam Richardson**	~~Printed 18 May 2018~~ **Printed 23 Nov 2020**
Reference 170224 DSP ~~Issue 1~~ **Issue 10** Sheet 10 of 14	Level 1	~~Tasy Moraitis~~ **Adam Richardson**	~~Printed 18 May 2018~~ **Printed 23 Nov 2020**

Reference 170224 DSP ~~Issue 1~~ **Issue 10** Sheet 11 of 14	Level 1	~~Tasy Moraitis~~ **Adam Richardson**	~~Printed 18 May 2018~~ **Printed 23 Nov 2020**
Reference 170224 DSP ~~Issue 1~~ **Issue 10** Sheet 12 of 14	~~Second Level~~ **Level 2**	~~Tasy Moraitis~~ **Adam Richardson**	~~Printed 18 May 2018~~ **Printed 23 Nov 2020**
Reference 170224 DSP ~~Issue 1~~ **Issue 10** Sheet 13 of 14	Ground Level - Hall	~~Tasy Moraitis~~ **Adam Richardson**	~~Printed 18 May 2018~~ **Printed 23 Nov 2020**
Reference 170224 DSP ~~Issue 1~~ **Issue 10** Sheet 14 of 14,	Level 1 - Hall, Level 2 - Hall	~~Tasy Moraitis~~ **Adam Richardson**	~~Printed 18 May 2018~~ **Printed 23 Nov 2020**
SP Form 3.01 ~~Issue 1~~ **Issue 10** Sheet 1 of 3	Strata Plan Administration Sheet	~~Tasy Moraitis~~ **Adam Richardson**	~~Printed 18 May 2018~~ **Printed 23 Nov 2020**
SP Form 3.07 ~~Issue 1~~ **Issue 10** Sheet 2	Strata Plan Administration Sheet	~~Unknown~~ **Adam Richardson**	~~Printed 18 May 2018~~ **Printed 23 Nov 2020**
SP Form 3.08 (Annexure) ~~Issue 1~~ **Issue 10** Sheet 3	Strata Plan Administration Sheet	~~Unknown~~ **Adam Richardson**	~~Printed 18 May 2018~~ **Printed 23 Nov 2020**

and any details on the application form and on any supporting information received with the application except as amended by the following conditions.

Note: The following must be submitted to Sutherland Shire Council prior to the

commencement of any building or subdivision work

i) **The relevant** Construction Certificate.

ii) Notification of the appointment of a Principal Certifying Authority and a letter of acceptance from that Principal Certifying Authority.

iii) Notification of the commencement of building and/or subdivision works with a minimum of 2 days' notice of such commencement.

(Modified – Error! Reference source not found.**)**

Under Section 6.5 of the Environmental Planning and Assessment Act 1979, please note that Sutherland Shire Council must be appointed as the Principal Certifying Authority for all subdivision works.

3. Design Changes Required

A. Before Construction

The following design changes must be implemented:

i. ~~**Parking basement level 1**~~

~~As per *Plan DA06 Basement Floor Plan - B1 Issue I, as amended by Council 25 September 2019* the following amendments shall be made:~~

~~a) The stair well associated with Garage 22 shall be 'reversed' so that access is from the south. The stairwell shall also be moved south to facilitate parking for two cars in accordance with AS2890.~~

~~b) All double garages shall be provided with a minimum 5.2m wide door opening to be provided central to the location of the parking spaces.~~

~~c) All single and tandem garage spaces shall be provided with a minimum 2.8m wide door opening.~~

~~d) The garage door for garage 25 shall be splayed to facilitate improved entry and exit for 2 vehicles.~~

~~**ii. Parking basement level 2**~~

~~*As per Plan DA05 Lower Basement Floor Plan - B2 Issue I, as amended by Council 25 September 2019, submit amended plans demonstrating:*~~

~~A. Basement 2 shall be amended to achieve compliance with AS2890.1, as per the following:~~

~~a) As per AS2890.1, figure 5.2, the columns in Basement 2 adjacent to the central aisle must be moved 750mm into the parking spaces to facilitate manoeuvring.~~

~~b) The shared space in basement 2 must be 2.4m wide and incorporate a bollard.~~

~~**iii. Commercial parking basement level 2**~~

~~a) As *per Plan DA10 Issue I, East, North, West and South Elevations as amended by Council 30 October 2019*; submit amended plans indicating the stair from commercial basement parking at Basement level 2, adjacent to the southern side of Building B shall be deleted.~~

~~*b) As per Plan DA05 Lower Basement Floor Plan - B2 Issue I, as amended by Council 25 September 2019; and Plan DA07 Ground Floor Plan Issue I, as amended by Council 25 September 2019 - submit amended plans indicating,* a lift and stair exit shall be provided from basement 2 to ground level between Building A and Building B. This shall directly adjoin the pedestrian path to Heathcote Hall, and shall not encroach in the Heritage Curtilage or Heritage Buffer as per the endorsed CMP.~~

~~**iv. Adaptable townhouses**~~

~~As per *Plan DA06 Basement Floor Plan - B1 Issue I, as amended by Council 25 September 2019; and Plan DA07 Ground Floor Plan Issue I, as amended by Council 25 September 2019;* submit amended plans indicating:~~

~~a) Townhouses 7, 8, 11, 12, 13, 14 and 22 shall be dedicated as adaptable townhouses.~~

~~b) Stair 04 shall be reconfigured so as to provide lift access in addition to stair access from the basement level 1, to provide access to Adaptable Townhouses 7 and 8 from the pedestrian path at ground level.~~

c) ~~A gate providing rear access directly to the rear private open space of Adaptable Townhouses 7 and 8 shall be provided from the pedestrian path at ground level.~~

d) ~~Direct and separate lift access from Basement Level 1 garages of Townhouses 11 and 12 shall be provided to each of these dwellings.~~

e) ~~Townhouses 13, 14 and 22 are to be provided direct access from basement 1 via the lift adjacent to Stair 06, to the rear Private Open Space of these dwellings, or each dwelling shall be allocated an individual lift from each respective basement level 1 garage.~~

~~v. Livable Townhouses~~

~~As per *Plan DA07 Ground Floor Plan Issue I*, *as amended by Council 25 September 2019 and Plan DA06 Basement Floor Plan - B1 Issue I, as amended by Council 25 September 2019:*~~

a) ~~Townhouse 27 shall be a livable dwelling, with a lift provided from the basement level 1 garage of this dwelling, the garage shall be a tandem garage.~~

b) ~~Townhouse 20 is not allocated as a livable dwelling as appropriate access cannot be provided.~~

~~vi. Reconfiguration of Townhouses 11 and 12~~

~~As per *Plan DA07 Ground Floor Plan Issue I*, *as amended by Council 25 September 2019*, the areas highlighted in Yellow (Townhouse 11) and highlighted Blue (Townhouse 12) shall be allocated as gross floor area for each dwelling with a common party wall dividing each dwelling.~~

~~vii. Landscaping General~~

~~All landscape plans shall be updated to reflect all approved built form as per the architectural plans prepared by Ink Architects, as per ***Condition 1 Approved Plans and Documents***, and as amended by all other relevant conditions in this determination.~~

viii. Fire Hydrant Booster Assembly

The fire hydrant booster assembly shall be provided in accordance with the approved Architectural Plans and in consultation with a fire engineer and hydraulic engineer to the satisfaction of Fire and Rescue NSW and the Heritage Council of NSW.

In the event that design changes are required (including to the size, type of the booster assembly , the requirements for a freestanding wall / radiant heat shield, FRNSW emergency vehicle hardstand etc) these plans shall be submitted for approval by the Director, Shire Planning prior to the issue of the relevant Construction Certificate.

~~As per *Plan DA05 Lower Basement Floor Plan - B2 Issue I, as amended by Council 25 September 2019; Plan DA07 Ground Floor Plan Issue I, as amended by Council 25 September 2019; and Plan DA06 Basement Floor Plan - B1 Issue I, as amended by Council 25 September 2019*, the fire hydrant booster assembly as indicated adjacent to townhouse 2 shall be relocated to minimise the visual impact upon the streetscape of Boronia Grove. Amended *Plans shall be submitted for approval by the Director, Shire Planning prior to the issue of **the relevant** Construction Certificate,* and as per the following:~~

~~**(Modified –** Error! Reference source not found.**)**~~

~~a) The fire hydrant booster assembly shall be relocated, and designed in consultation with a fire engineer and hydraulic engineer; and to the satisfaction of Fire and Rescue NSW and the Heritage Council of NSW, in order to erect a hydrant booster without the need for a detached radiant heat shield as required by E1.3 of the BCA or AS2419.1-2005 or AS2419.1-2017.~~

~~b) The fire hydrant booster assembly shall be located parallel to Boronia Grove, fully contained within the site, and at the property boundary.~~

~~c) The location of the fire hydrant booster assembly shall be erected in a location adjacent to the Communal Pedestrian entry stair adjacent to Townhouse 3 and *Stair 01* of Basement Level 1 and Basement level 2. And shall be fully recessed into and under any stair/landing/structure. The fire hydrant booster assembly alcove shall be screened by non-lockable gates.~~

~~d) The fire hydrant booster assembly will require an adjacent fire rated free standing wall with an FRL not less than 90/90/90 and extend not less than 1m each side of the outermost hydrant booster riser (a minimum of 3m wide) and extend to a height not less than 2m above the finished ground level.~~

~~e) The communal pedestrian entry stair is to be relocated or reoriented to accommodate the relocated fire hydrant booster assembly and contained wholly within the site, without reducing the deep soil area, or impacting upon trees in the vicinity of the stairs.~~

~~f) The relocation of the fire hydrant booster assembly may require the reorientation of Stair 01 of Basement Level 1 and Basement Level 2.~~

~~g) As a result of the relocation of the fire hydrant booster assembly, the north facing courtyard of townhouse 3 shall be reduced in depth to be setback a minimum of 3.5m from the fire hydrant booster assembly, resulting in a reduction in the depth of this courtyard by a minimum of 1.5m in depth as shown in black hatching on *Plan DA07 Ground Floor Plan Issue I, as amended by Council 25 September 2019.*~~

~~The north facing elevated Courtyards of Townhouses 2 and 3 shall have a minimum setback of 4m from the Boronia Grove boundary.~~

~~The existing ground levels in this front setback along shall remain as per the existing natural ground levels, no cut and fill shall occur in the areas outside the building foot print. No reshaping, battering,~~

~~excavating or filling of the original ground surface is permitted within this area. Where building edges or feature walls are required adjoining/adjacent to the trees on Council verge or within the site; they must be constructed so as to minimise impact upon the adjoining landscape, and present a vertical face to the street, as per *Plan DA10 Issue I, East, North, West and South Elevations, as amended by Council 30 October 2019.*~~

~~The resulting landscaped area to the north of the paved private open space of townhouse 3 shall be appropriately landscaped to screen the retaining wall of townhouse three (3). As the subject site is identified as being within a Greenweb Core area, all new plantings in this increased setback must be indigenous species selected from Council's 'Native Plant Selector' available on Council's website (www.sutherlandshire.nsw.gov.au and search for Native Plant Selector).~~

~~h) All other fire hydrant boosters and meters must be fully enclosed and incorporated within the building fabric associated with the townhouses and residential flat buildings.~~

~~**ix. Stair on the east-west carriage way**~~

~~a) As per the *General Terms of Approval issued by the Heritage Council (10 October 2019),* and as per *Plan DA07 Ground Floor Plan Issue I, as amended by Council 25 September 2019;* the stair associated with the east-west carriage way in front of townhouses 29-31 inclusive, shall be deleted and the carriageway designed in accordance with the requirements of the Heritage Council.~~

~~b) Any additional stairs required to townhouses 29-31 (inclusive), as a result of the deletion of the stairs on the east-west carriageway required by condition **(ix)(a)** above, are to be incorporated into the individual paths leading from the carriageway to the front entries of the townhouses, and shall not encroach into the east-west carriageway.~~

~~c) The finished levels of the east-west carriageway must be determined in consultation with the Heritage Council.~~

~~**x. Dwelling 28**~~

~~A laundry is required to be provided within the approved footprint of dwelling 28.~~

~~***Details of these design changes must be included in documentation submitted with the application for the relevant Construction Certificate.***~~

(Modified – ~~Error! Reference source not found.~~**)**

4. Integrated Development Approval - Requirement of Approval Bodies

A. General Terms of Approval from Other Approval Bodies

The development must be undertaken in accordance with all General Terms of Approval (GTA) of the following approval bodies under Section 91A of the Environmental Planning and Assessment Act 1979:

(i) NSW Heritage Council (dated ~~10 October 2019~~ **25 August 2021**)

(ii) NSW Rural Fire Service (dated 27 April 2018)

A copy of the GTAs and any further requirements of the approval body/bodies are attached to this development consent. These requirements must be incorporated in the application for **the relevant** Construction Certificate.

10. Lift Design to accommodate stretchers

~~All lifts to be installed as part of this development~~ **The lifts servicing Apartment Buildings A and B** must be designed to accommodate stretchers to be used by the NSW Ambulance Service.

Approval of lifts ~~to be used~~ **servicing Apartment Buildings A and B** must be gained by the NSW Ambulance Service prior to the issue of any Construction Certificate.

18. Internal Driveway, Parking and Manoeuvring

A. Design

The internal driveway profile, parking and manoeuvring areas must be designed in accordance with the approved architectural plans except where modified by the following:

i. Align with Access and Alignment levels issued by Council's Public Domain Unit.
ii. The proposed loading and delivery area must be clearly defined with suitable signposting and pavement markings.
iii. The car park must be able to accommodate a minimum 128 vehicles.
iv. Provide adequate sight distance for the safety of pedestrians using the footpath area.
~~v. Provide a maximum grade of 5% for the length required to accommodate the waste collection vehicle.~~
vi. The maximum longitudinal grade of the driveway must not exceed 25%.
vii. The crest for the driveways providing access to the basement car parks should be a minimum of the kerb level.
~~viii. Comply with AS2890.1(2004) in relation to the design of vehicular access, parking and general manoeuvring for the B85 vehicle. This will require amending the widths, lengths, column location and location of some of the parking spaces, as per the **Condition 2 - Design Changes**.~~

B. Construction

Certification from an appropriately qualified engineer to the effect that the design requirements of "A" above have been met must accompany the **relevant** Construction Certificate.

C. Occupation

Prior to the occupation of the development or the issue of any occupation certificate a suitably qualified engineer must certify that the works required in "A" above were undertaken and completed to their satisfaction and in accordance with the requirements of this Development Consent. This certification must be provided to the PCA and a copy also provided to Council.

D. On-going

The approved parking must be used exclusively for car parking as approved for the life of the development.

30. Landscaping Works

A. Design

The landscaping works must be designed in accordance with the approved Landscape Plan, except where modified by the following, and submitted to the Director of Shire Planning for approval prior to the issue of **the relevant** Construction Certificate: **(Modified –** Error! Reference source not found.**)**

i. All approved landscape plans shall be in accordance with the approved architectural and stormwater plans.

ii. Amend the Existing Trees Plan, if required, in accordance with findings by Council's Arborist and the supervising Consulting Arborist following a site inspection carried out prior to any demolition works on site. The purpose of the inspection is to physically mark existing trees that are to be removed or pruned.

iii. Show on plan Tree Protection Zones (TPZ) and the outline of protective fencing for all existing trees and heritage site features to be retained and protected.

iv. Provide detailed planting plans for all landscaped areas showing plant locations, species and numbers that achieve a minimum plant density of 4 plants per sqm to ensure good coverage and to inhibit weed growth.

v. Where building edges or feature walls are required adjoining/adjacent to the trees on Council verge or within the site; they must be constructed so as to minimise impact upon the adjoining landscape, and present a vertical face to the street.

vi. No reshaping, battering, excavating or filling of the original ground surface outside the building footprint, is permitted. Where building edges or feature walls are required adjoining/adjacent to the trees on Council verge or within the site; they must be constructed so as to minimise impact upon the adjoining landscape, and present a vertical face to the street.

vii. The existing soil profile and ground levels must be retained around the ALL existing trees to the north of townhouses 1 to 17 inclusive along Boronia Grove, and townhouses 18 to 21 on Tecoma Street, both on the Council verge and within the site. No reshaping, battering, excavating or filling of the original ground surface is permitted within this area.

viii. Ensure that new plantings satisfy the RFS bushfire code, heritage view corridors and STIF revegetation requirements.

ix. Provide detailed hardworks details including all paving, ramps, stepping stones, walls, steps, edgings, fencing, gates and furniture. Note that all landscape retaining walls and planter boxes must be constructed in masonry, stone or gabions. Timber is not acceptable.

x. Provide detail levels of all courtyards and hardworks to confirm the protection of all existing trees to be retained.

xi. Clarify the location and extent of fencing around the heritage compound and kitchen gardens and orchard. Ensure that fencing is located a minimum distance of 600mm away from the trunks of Trees 99, 99D, 112, 113, 114 and 124.

xii. In the heritage kitchen gardens and orchard delete the section of raised planting bed within the TPZs of Trees 99, 99B and 99C.

xiii. Provide minimum soil depths in planter boxes as follows:

- 1200mm for large trees.
- 900mm for small trees and tall shrubs.
- 600mm low shrubs.
- 450mm grass and ground covers.

xiv. To improve coverage and reduce weeds and maintenance, planting densities in all planting areas must achieve a minimum of 4 plants per square metre.

xv. To reduce long term maintenance of planting beds turf species must be native grass such as Zoysia ‘Nara’ or Buffalo varieties.

~~xvi.~~ Each townhouse ~~and ground floor unit~~ must be provided with a clothes line in the rear garden easily accessible from the laundry. ~~Each unit above the ground floor must be provided with a clothes line on a balcony. Ensure that clothes lines are not visible above the balustrade.~~

xvii. The communal open space areas and all planter boxes on slab must be provided with a water-efficient irrigation system and taps at 25m centres, connected to a pump and the rainwater tank, to enable effective landscape maintenance.

xviii. Each area of private open space for townhouses and ground floor units must be provided with a tap, connected to mains water. In townhouses provide one tap in front garden and one tap in the rear garden.

xix. As the subject site is identified as being within a Greenweb Core area, all new plantings around the perimeter of the site and along the public pathways must be indigenous species selected from Council's 'Native Plant Selector' available on Council's website (www.sutherlandshire.nsw.gov.au and search for Native Plant Selector). Within the Private Open Space of the townhouses at least 50% of tree and understorey species must be indigenous species. Within the Heritage Precinct exotic species are permitted in accordance with the Heritage Landscape Architect's plans except for the perimeter area bounded by the driveway and Dilwynnia Grove and Tecoma Street where indigenous species should predominate. **The Pittosporum undulatum & Pittosporum revolutum species shall be substituted with an alternate species in accordance with the above.**

xx. *Eucalyptus saligna x botryoides* is not generally available from Council's or other nurseries. Seed for this species must be collected from the site and the trees propagated in advance of planting.

The applicant must engage a suitably qualified Landscape Designer or Landscape Architect to oversee any design changes to the approved Landscape Plan and amendments required above. Details of these design changes must be included in the documentation submitted with the application for **the relevant** Construction Certificate. **(Modified –** Error! Reference source not found.**)**

Notes:

A Landscape Designer is a person eligible for membership of the Australian Landscape Designers and Managers and a Landscape Architect is a person

eligible for membership of the Australian Institute of Landscape Architects as a Registered Landscape Architect.

If demolition works to occur prior to the **relevant** Construction Certificate being issued, tree protection measures must be installed prior to commencement of demolition. **(Modified –** Error! Reference source not found.**)**

B. Prior to Occupation/Occupation Certificate

The landscape works must be completed in accordance with the approved Landscape Plan and amendments required by 'A' above. A Final Landscape Inspection must be carried out and a certificate issued by Council's landscape officer prior to occupation or the issue of an Occupation Certificate (interim or final). This certificate is required to ensure that all tree protection measures, landscaping works, replacement tree planting and the deep soil percentage requirements have been carried out in accordance with 'A' above and other conditions within this consent, and that all new indigenous plants on the site and within the road reserve are the correct species.

To arrange a Final Landscape Inspection please phone 9710-0333 48 hours prior to the required inspection date. An inspection fee of $230 is required to be paid, prior to the inspection. Additional inspections will be charged at a rate of $103 each.

C. Ongoing

All landscaping works required by 'A' above must be maintained for 12 months following the final landscape inspection date. Trees required by this condition must be maintained and protected until they are covered by Council's Controls for Preservation of Trees and Bushland Vegetation (SSCDCP 2015 Chapter 38).

Any plants found faulty, damaged, diseased or dead shall be replaced with the same species in the same sized container within one month with all costs borne by the owner.

Note: If difficulty is experienced sourcing suitable indigenous plants from other suppliers, plants grown from locally provenance seed may be available from:

Sutherland Shire Council Nursery
345 The Boulevarde, Gymea
Ph: 02 9524 5672

31. Tree Removal on Private and Council Land

The removal of the following trees is approved:

i) Trees identified on the approved Landscape Plan as "existing tree to be removed" and in accordance with the findings by Council's Arborist and the supervising Consulting Arborist following a site inspection carried out prior to any demolition works on site.

ii) Any declared noxious plant. The applicant is to ensure that all noxious plants are properly identified and controlled/removed.

iii) Any tree species exempted by the Sutherland Shire Local Environmental Plan 2015.

All other vegetation that would require approval to be removed must be protected.

A. Tree Replacement

i) Approximately ~~46~~ **47** trees within the site and 8 street trees covered by the TPO (excluding trees in very poor health) are approved for removal as part of this consent. Where trees are proposed to be removed Sutherland Shire Council requires indigenous replacement canopy tree planting at a ratio of 8:1 on private land and 4:1 on Council land (Council Resolution EHR003-17 of 18 July 2016).

ii) Approximately ~~400~~ **408** replacement trees are required to be planted. **In determining this application, the extent of compensatory planting has been reduced as the development has been sensitively designed to maintain existing bush land or trees such that it makes a positive contribution to the local landscape character.**

iii) The final number of replacement trees to be planted on the site and the street will be determined once the detailed landscape plans have been approved by Council, the RFS and the Heritage Office prior to the issue of the Construction Certificate. Replacement trees within the site must be planted within 3m of the front or rear setback of the subject property and not within 4m of an existing or approved building or structure.

iv) Trees must have a minimum container size of 5 litres.

Note: Where replacement trees required by "B ii)" above are unable to be planted on the site or in the street, Council offers offsite planting under a 'Deed of Agreement' as an alternative to on site planting, at a cost of $100 per tree. Offsite planting will be undertaken as part of Council's Green Street Program. 'Deed of Agreement' forms can be downloaded from Council's website at www.sutherlandshire.nsw.gov.au/Development/Development-Applications/Off-Site-Tree-Replacement-and-Deed-of-Agreement. A completed form and payment must be submitted to Council prior to the release of the Construction Certificate.

B. Tree Removal on Council Land

Council has preferred supplier agreements in place with arborists who are approved to carry out arbor works on Council land. Removal / pruning of the tree/s listed below must only be undertaken using Council's preferred supplier at the applicant's expense. The applicant is responsible for contract management and payment of the arborist prior to works being undertaken.

Select from Council's list of preferred suppliers listed on Council's website: http://www.sutherlandshire.nsw.gov.au/Residents/Trees/Trees-on-Council-or-Public-Land. Payment of the quoted amount provided must be made prior to any works commencing on site.

C. Prior to Occupation/Occupation Certificate

The replacement tree planting must be completed in accordance with the approved Landscape Plan/ required street tree planting. Certification will be provided as part of the Final Landscape Inspection by Council's landscape

officer (refer Condition - Approved Landscape Plan).

D. Ongoing

Trees required by this condition must be maintained and protected until they are covered by Council's Controls for Preservation of Trees and Bushland Vegetation (SSCDCP2015 Chapter 38). Any replacement trees found damaged, dying or dead must be replaced with the same species in the same container size within one month with all costs to be borne by the owner.

Note: If you have difficulty sourcing suitable indigenous plants from other suppliers, plants grown from local provenance seed may be available from:

Sutherland Shire Council Nursery
345 The Boulevarde, Gymea
Ph: 02 9524 5672
Opening hours - Monday to Friday 7.00am-3.00pm (excluding public holidays).

45. Photographic Archival Recording

a) A photographic archival recording of the place is to be undertaken prior to the commencement of works and submitted to Council's Heritage Officer for assessment ~~and approval~~. The recording should capture the heritage site generally but focus on the cottage. The archival recording must be prepared in accordance with the Heritage Council of NSW guidelines, in particular Photographic Recording of Heritage Items Using Film or Digital Capture; and the General Terms of Approval dated 10 October 2019, issued by the Heritage Council. A minimum of three copies are to be produced: one for Council, the second for the local council's local studies library and the third to be retained by the owner; and any other copies as required by the Heritage Council of NSW.

68. Car parking Areas

A. Ongoing

To ensure that the car parking area satisfies the demands of the development:

i) it must be made available on an unrestricted basis and free of charge at all times for ~~employees' and~~ visitors' vehicles

ii) any parking nominated as visitor parking or common property must be continually available as common property.

69. Car Parking Allocation

A. Before Subdivision

Residential car parking must be allocated to individual strata lots as part of their unit entitlement.

Visitor parking facilities and/or car wash bays must be designated as common property on any strata plan.

Parking must be allocated on the following basis:

- Residential dwellings: a minimum of 1 space per one bedroom dwelling; 1.5 spaces per two bedroom dwelling; and 2 spaces per three bedroom dwelling.
- Residential visitors: a minimum of 1 space per 4 dwellings
- Car wash bay(s): 3 spaces total
- Bicycle bays: 10 spaces total
- ~~Retail/commercial: minimum of 12 spaces, including a minimum of eight spaces to be provided in the separate basement level 2 commercial parking.~~
- ~~Loading/servicing: wholly within the site and within the driveway waste collection/ loading area~~

B. Ongoing

The car-parking provided must only be used in conjunction with the dwellings and/or tenancies contained within the development and not for any other purpose.

Note: This condition has been imposed to ensure that the car parking spaces are only used for car parking by the unit that it has been allocated to. It is intended to restrict the sale or subleasing of car parking to parties unrelated to each strata entitlement. Council's condition is a "restrictive use condition" pursuant to the Strata Schemes Development Act 2015 and should be noted as such on any future the Strata Certificate.

New Condition 72 ~ Waste Collection (Kerbside Collection)

A. Design

To ensure the proper storage of waste from the premises:

- **i) The temporary bin holding areas within the Dillwynnia Grove and Boronia Grove frontages shall be deleted and the areas maintained as landscaping.**
- **ii) The permanent garbage and recycling storage bin store areas must have sufficient space for the storage of all bins required for the development**
  - **a. 28 x 240L garbage bins**
  - **b. 56 x 240L co-mingled recycling bins.**

B. Before Construction

Details of compliance with 'A' above must form part of the documentation accompanying the applications for a Construction Certificate.

A. Before Occupation

The works must be completed prior to the issue of any Occupation Certificate.

C. On-going

- **i) All ongoing management, maintenance and cleaning of all waste and recycling management facilities is to be carried out in accordance with the approved Waste Management Plan for the development.**
- **ii) All waste and recycling bins must be stored wholly within the approved waste storage areas. The bins must only be put out for**

kerbside collection in the evening prior to pick-up and returned to the storage area as soon as possible after pick-up.

Appendix B

Submissions

	Address	Date of Submission	Summary of Issues Raised
1	9 Woodford Cres Heathcote	11 March 2021 (2 Submissions)	Opposed to the development Increased Traffic congestion Bushfire Safety Concerns "Incongruous nature of apartments in Heathcote east" = Out of character Evacuations/traffic safety concerns. Opposed to the removing of basement parking Commercial parking's removal will impact upon street parking Traffic congestion Bushfire safety concerns Out of character Safety concerns No indication as to the use for the hall itself
2	27 Boronia Grove Heathcote	11 March 2021	Opposed to demolition of the commercial carpark Concerns that a retrofit of the commercial carpark would not be easy if the use of the hall was to change in the future.
3	44 Dillwynia Grove Heathcote	12 March 2021	Out of character Opposed to the development Increased Traffic congestion Bushfire Safety Concerns Evacuations/traffic safety concerns. Supportive of the commercial removal – pending "execution" Concerns about transparency and the developer removing the carpark for cost cutting to then revert back to another design Objector proposes that the hall should be restored prior to any construction of residential accommodation
4	39 Boronia Grove 11 March 2021	13 March 2021	Disappointed in the result of the approval of the DA Opposed to the removal of commercial carpark as this will increase the demand on street parking
5	DPIE – Royal National Park	20 March 2021	Asked Council to review and consider *Guidelines for developments adjoining land managed by the Office of Environment and Heritage* (DPIE guidelines) Whilst the actual development is off park, there are potential impacts on Royal National Park from additional stormwater occurrence. Thus in addition to the requirements in the guidelines above, DPIE provide the following comment. DPIE refer Council to Section 2.2 of the above OEH guidelines which relate to storm water runoff. The developer must consider

			not to direct stormwater to park where possible. The above guidelines recommend the development proponent ensure all storm water storage areas and associated infrastructure are appropriately sized and maintained to ensure that there is no unauthorised overflow onto DPIE land. The proponent should consider stormwater retention on site and utilising existing council drainage structures rather than diverting flows into Royal National Park.
6	38 Tecoma Street Heathcote	2 April 2021	Opposed to the reduction in car parking spaces Extra cars on the street will impact the ability to access fire supplies/hose etc Pedestrian Safety Evacuations/traffic safety concerns. Doesn't comply with the E4 provisions Amenity impacts on the community Should have a new DA for such major changes Increase in traffic Noise Requests more time for submissions to be lodged Modification reduces parking and quality of the development
7	4 Dillwynnia Grove Heathcote	2 April 2021	Opposed to the original assessment / approval and proposed changes including removal of commercial parking Heathcote Hall should be fully restored and habitable before being sold as a residence Future use of Heathcote Hall into commercial and inability to provide parking at a later stage Traffic congestion and parking including resident / visitors to Heathcote Hall Bushfire safety, risk, evacuation, design and compliance with planning requirements including E4 zoning Protection of historic carriageway and restoration of Heathcote Hall Undesirable visual aesthetic of development and BCA compliance Land contamination Power supply
8	No Address	13 April 2021	Opposed to the changes Concerned about more cars on local roads reducing local amenity
9	28 Dillwynnia Grove	13 April 2021	Opposed to the development generally Not enough parking for the proposed residents Street parking will be crowded Traffic increase Amenity impacts Changes should require a new DA

			Supportive of private residence Concerned about transparency of process
10	No Address	13 April 2021	Community not pleased with the approval of the DA Opposed to the deletion of the parking spaces due to the impact this will have on street parking
11	No Address	13 April 2021	Opposed to the modification Narrow roads can't cope with more cars. Traffic/street parking Cost to the community as a result of the developer trying to save money
12	44 Dillwynnia Grove Heathcote	13 April 2021	Frustration with the process surrounding the approval Risk to the community Parking and pedestrian safety as a result of extra traffic Amenity impact – need to the road widening Should keep the commercial parking as visitor parking Concerns about timing – wants a DA for the use of the hall Wants Council to confirm what the road works will look like Wants confirmation that the hall is fully restored before the town houses are built
13	14A Bottle Forrest Road Heathcote	16 April 2021	Opposed to the modification Frustrated with lack of consultation with modifications Question about OC separate CC's Private ownership of the Hall is not what was agreed to by the planning panel-the approval of this contentious development was in part dependent on the public use of the redeveloped hall.
14	14A Bottle Forest Road Heathcote	16 April 2021	Opposed to the modification Frustrated with lack of consultation with modifications Concerned about splitting the development into two construction certificates Concerns about the hall being maintained if private ownership is exercised Private ownership is only to reduce costs
15	Councillors D Steinwall and G Mclean	19 April 2021	Concerns stem from what we believe was the above SSPP approval, which included an additional weighting (the height, number of apartments, dimensions, foot print etc) for the construction scope based upon, a degree of consideration, of Heathcote Hall being repurposed for a use which would include a degree of public access

			Concerned about demands placed on street parking as a result of the removal of the commercial parking Concerned about how the staging of the construction will be undertaken Request for the email to be listed as an objection

Our ref: DOC21/284247

Mr Evan Phillips
Sutherland Shire Council
Locked Bag 17
SUTHERLAND NSW 1499

By email: Evan Phillips EPhillips@ssc.nsw.gov.au

Dear Mr Phillips

HERITAGE COUNCIL OF NSW – GENERAL TERMS OF APPROVAL
s.4.55 MODIFICATION (s.4.55/2021/10)

Site: 1-21 Dillwynnia Grove, Heathcote Hall (SHR No 00191)
Proposal: This modification application seeks approval to remove commercial car parking within basement Level 2, respond to the conditions of consent which require changes to the design, improve the overall design and functionality of the development and improve the residential amenity of the development
IDA application no: IDA/2017/55 (DA17/0467)
s.4.55 application no: s.4.55/2021/10
Information received with the s.4.55 application: As listed below.

As delegate of the Heritage Council of NSW (the Heritage Council), I have considered the above integrated development application. In accordance with Section 4.47 of the *Environmental Planning and Assessment Act 1979*, the following general terms of approval are granted: (A copy of the original terms of approval are included below with modifications shown by striking through text, and additions in ***bold italics***)

APPROVED DEVELOPMENT

1. Development must be in accordance with:

a) Architectural drawings, prepared by Tropman and Tropman Architects as listed below:

Drawing No.	Title	Date	Rev
Project Name: Heathcote Hall			
Ex100	Existing Site Plan	23/11/17	A
Ex101	Ground Floor	23/11/17	A
Ex102	Existing First Floor	23/11/17	A
Ex110	Existing Elevation S-W	23/11/17	B
Ex111	Existing Elevation S-E	23/11/17	A
Ex112	Existing Elevation N-W	23/11/17	A
Ex113	Existing Elevation N-E	23/11/17	A
PR.200	Existing Roof Plan	23/11/17	F

PR.201	Proposed Ground Floor Plan	23/11/17	F
PR.202	Proposed First Floor Plan	23/11/17	F
PR.210	Proposed Elevation S-W	23/11/17	F
PR.211	Proposed Elevation N-W	23/11/17	F
PR.212	Proposed Elevation N-E	23/11/17	F
PR.213	Proposed Elevation S-E	23/11/17	A

b) Architectural drawings, prepared by Ink Architects, as listed below:

Dwg No	**Dwg Title**	**Date**	**Rev**
Project Name: Historic Heathcote Hall – 1-21 Dillwynnia Grove, Heathcote, Sutherland			
~~DA00~~	~~Cover Sheet~~	~~27/08/19~~	~~I~~
~~DA01~~	~~Site Plan Roof Plan~~	~~17/09/19~~	~~J~~
DA02	Demolition Plan	5/12/17	A
~~DA05~~	~~Lower Basement B2~~	~~27/08/19~~	~~I~~
~~DA06~~	~~Basement Floor Plan - B1~~	~~27/08/19~~	~~I~~
~~DA07~~	~~Ground Floor Plan~~	~~27/08/19~~	~~I~~
~~DA07 CMP~~	~~Ground Floor Plan CMP~~	~~27/08/19~~	~~I~~
~~DA08~~	~~First Floor Plan~~	~~27/08/19~~	~~I~~
~~DA08 CMP~~	~~First Floor Plan CMP~~	~~27/08/19~~	~~I~~
~~DA09~~	~~Second Floor Plan~~	~~27/08/19~~	~~I~~
~~DA09 CMP~~	~~Second Floor Plan CMP~~	~~27/08/19~~	~~I~~
~~DA10~~	~~East, North, West & South Elevations~~	~~27/08/19~~	~~I~~
~~DA11~~	~~Sections A-A, B-B, C-C & D-D~~	~~27/08/19~~	~~I~~
~~DA12~~	~~Sections E-E, F-F, G-G, H-H, & I-I~~	~~27/08/19~~	~~I~~
~~DA13~~	~~Sections H-H, J-J, K-K~~	~~27/08/19~~	~~I~~
~~DA15~~	~~FSR Calculations~~	~~27/08/19~~	~~I~~
~~DA16~~	~~Adaptable and Liveable Dwellings~~	~~27/08/19~~	~~I~~
~~DA24~~	~~Building A Area Over 8.5m~~	~~27/08/19~~	~~I~~
~~DA20~~	~~Material Finishes Board~~	~~27/08/19~~	~~I~~
~~DA21~~	~~Material Finishes~~	~~20/03/19~~	~~D~~
~~DA29~~	~~Wayfinding~~	~~27/08/19~~	~~I~~

Architectural drawings, prepared by DesignInc, as listed below:

Dwg No	***Dwg Title***	***Date***	***Rev***
Project Name:			
MOD00	***Cover Sheet***	***15/01/2021***	***A***
MOD01	***Site Plan Roof Plan***	***15/01/2021***	***A***
MOD05	***Lower Basement B2***	***15/01/2021***	***A***

MOD06	***Basement Floor Plan - B1***	***15/01/2021***	***A***
MOD07	***Ground Floor Plan***	***15/01/2021***	***A***
MOD08	***First Floor Plan***	***15/01/2021***	***A***
MOD09	***Second Floor Plan***	***15/01/2021***	***A***
DA10	***East, North, West & South Elevations***	***15/01/2021***	***A***
MOD11	***Sections A-A, B-B, C-C & D-D***	***15/01/2021***	***A***
MOD12	***Sections E-E, F-F, G-G, H-H, & I-I***	***15/01/2021***	***A***
MOD13	***Sections H-H, J-J, K-K***	***15/01/2021***	***A***
MOD15	***FSR Calculations***	***15/01/2021***	***A***
MOD16	***Adaptable Townhouse 7, 8, 11 & 12***	***15/01/2021***	***A***
MOD17	***Adaptable Townhouse 13, 14, 22 & Apartment B101, B103, B201, B203***	***15/01/2021***	***A***
MOD20	***Material Finishes Board***	***15/01/2021***	***A***
Project No P20-056 A2050	***External Details - Substation***	***Unknown***	
Project No P20-056 A2051	***External Details – Hydrant Booster***	***19/01/2021***	***A***

~~c) Landscape drawings, prepared by Site Design + Studios and Michael Lehany, as listed below:~~

~~**Dwg No**~~	~~**Dwg Title**~~	~~**Date**~~	~~**Rev**~~
~~**Project Name: Heathcote Hall, 1-21 Dillwynnia Grove, Heathcote NSW**~~			
~~L-06~~	~~Heritage Concept Plans-Italianate~~	~~11/12/17~~	~~C~~
~~L-07~~	~~Heritage Garden/ CMP Reference~~	~~11/12/17~~	~~D~~
~~L-7A~~	~~Heritage-CMP~~	~~11/12/17~~	~~D~~
~~L-09~~	~~Site Analysis~~	~~19/3/18~~	~~E~~
~~L-10~~	~~Interpretation~~	~~19/3/18~~	~~E~~
~~L-11~~	~~Landscape Masterplan~~	~~19/3/18~~	~~E~~
~~L-12~~	~~Landscape Plans - Levels~~	~~11/12/17~~	~~D~~
~~L-12A~~	~~Landscape Plans - Hydraulics~~	~~19/3/18~~	~~E~~
~~L-13~~	~~Landscape Plans - details~~	~~19/3/17~~	~~E~~
~~L-14~~	~~Existing Trees Plan~~	~~19/3/17~~	~~E~~
~~L-14A~~	~~Existing Trees Plan~~	~~19/3/17~~	~~E~~
~~L-15~~	~~Existing Tree Report - Draft~~	~~19/3/17~~	~~E~~
~~L-16~~	~~Incursions~~	~~19/3/17~~	~~E~~
~~L-17~~	~~Planting Areas Plan~~	~~19/3/17~~	~~E~~
~~L-18~~	~~Plant List~~	~~19/3/17~~	~~E~~

~~L-19~~	~~Landscape Plans - Materials~~	~~19/3/17~~	~~E~~
~~L-20~~	~~Details~~	~~19/3/17~~	~~E~~
~~L-21~~	~~Sections~~	~~19/3/17~~	~~E~~

c) Landscape drawings, prepared by DesignInc, as listed below:

Dwg No	***Dwg Title***	***Date***	***Rev***
Project Name: Heathcote Hall, 1-21 Dillwynnia Grove, Heathcote NSW			
LA-01	***Cover Sheet***	***15/01/2021***	***A***
LA-02	***Site Calculations***	***15/01/2021***	***A***
LA-04	***Landscape Master Plan***	***15/01/2021***	***A***
LA-05	***Proposed Levels***	***15/01/2021***	***A***
LA-06	***Detail Design Concepts***	***15/01/2021***	***A***
LA-07	***Proposed Materials***	***15/01/2021***	***A***
LA-08	***Trees to be Removal and Retained***	***15/01/2021***	***A***
LA-09	***Trees to be retained with TPZ and SRZ***	***15/01/2021***	***A***
LA-10	***Planting Areas***	***15/01/2021***	***A***
LA-12	***Landscape Sections***	***15/01/2021***	***A***
LA-13	***Landscape Sections***	***15/01/2021***	***A***
LA-14	***Landscape Sections***	***15/01/2021***	***A***
Fencing	***Fencing***	***15/01/2021***	***A***
LA-15	***Fencing Details Sheet One***	***15/01/2021***	***A***
LA-17	***Fencing Details Sheet Two***	***15/01/2021***	***A***
LA-18	***Fencing Details Sheet Three***	***15/01/2021***	***A***
LA-19	***Fencing Details Sheet Four***	***15/01/2021***	***A***
LA-20	***Fencing Details Sheet Five***	***15/01/2021***	***A***
LA-21	***Fencing Details Sheet Six***	***15/01/2021***	***A***

Landscape drawings, prepared by DesignInc, as listed below:

Dwg No	***Dwg Title***	***Date***	***Rev***
Project Name: Heathcote Hall, 1-21 Dillwynnia Grove, Heathcote NSW			
LAH-00	***Heritage Landscape Cover Sheet***	***18/03/2021***	***A***
LAH-08	***Heritage Landscape Heritage Fencing Plan***	***18/03/2021***	***A***

Civil Drawings, prepared by SCP Consulting, as listed below:

Dwg No	Dwg Title	Date	Rev
Project Name: Heathcote Grounds Historic Heathcote Hall Civil Works S4.55 Package			
C-01-01	***Drawing Schedule, Legend and Locality Plan***	***16/12/20***	***4***
C-01-02	***Specification Notes***	***16/12/20***	***4***
C-03-01	***Siteworks and Grading Plan***	***16/12/20***	***4***
C-03-11	***Pavement Plan***	***16/12/20***	***4***
C-03-51	***Siteworks Details***	***16/12/20***	***3***
C-04-11	***Typical Sections***	***16/12/20***	***3***
C-04-21	***Driveway Long Sections – Sheet 01 of 03***	***16/12/20***	***3***
C-04-22	***Driveway Long Sections – Sheet 02 of 03***	***16/12/20***	***3***
C-04-23	***Driveway Long Sections – Sheet 03 of 03***	***16/12/20***	***3***
C-05-01	***Stormwater Drainage Layout Plan***	***16/12/20***	***4***
C-05-21	***Stormwater Catchment Plan***	***16/12/20***	***3***
C-05-61	***Stormwater Details***	***16/12/20***	***3***
C-06-01	***Sediment and Erosion Control Plan***	***16/12/20***	***4***
C-06-11	***Sediment and Erosion Control Details***	***16/12/20***	***4***

~~d) *Heathcote Hall, 1-21 Dilwynnia Grove, Heathcote, NSW – Revised Heritage Impact Statement*, prepared by Tropman and Tropman Architects, dated December 2017, as amended by Condition 1 b) above.~~

e) *Heathcote Hall, 1-21 Dilwynnia Grove, Heathcote, NSW - Schedule of Works*, prepared by Tropman and Tropman Architects, dated April 2017.

f) *Heathcote Hall, 1-21 Dillwynnia Grove, Heathcote NSW – Conservation Management Plan*, prepared by Anne Warr Heritage Consulting, dated 18 July 2017.

~~g) *Statement of Environmental Effects: Proposed restoration of the State Significant Historic Heathcote Hall and Gardens Incorporating the Development of 36 Town Houses and 21 Units Including Basement Parking*, prepared by HGPS, dated 12 April 2017, as amended by Condition 1 b) above.~~

~~h) *Addendum to the Statement of Environmental Effects – 1-21 Dillwynnia Grove, Heathcote*, prepared by HGPS, dated 11 December 2017, as amended by Condition 1 b) above.~~

i) *Heritage Landscape Assessment* by the Expert Michael Lehany, prepared by Michael Lehany, dated 9 March 2017 (included as Appendix to HIS.

j) Report titled *RE: Addendum Arborist Report at Heathcote Hall, 1-21 Dillwynnia Grove, Heathcote (The Site) – DA 17/1467 with Sutherland Shire Council (Council)*, prepared by Jacksons Nature Works, dated 8 March 2018.

k) *Flora and Fauna Report: Heathcote Hall Residential Development*, prepared by Eco Logical Australia, dated 8 March 2018 ~~(refer to DOC17/636501-26)~~.

l) *Quantity Surveyors Construction Cost Report – Historic Heathcote Hall, 1-21 Dillwynnia Grove, Heathcote NSW*, prepared by Mitchell Brandtman, dated April 2017, as amended by Condition 1 b) above.

m) *Re: Proposed Re-Development of 'Heathcote Hall' 1-24 (sic) Dillwynnia Grove – Quantity Surveyors Construction Cost Report*, prepared by Mitchell Brandtman, dated 1 May 2017, as amended by Condition 1 b) above.

n) *Heathcote Hall – Buffer Zone Planting Report*, prepared by Tropman and Tropman Architects, dated 9 April 2019.

EXCEPT AS AMENDED by the following conditions of this approval:

DEFERRED COMMENCEMENT - HERITAGE AGREEMENT

2. The approval for refurbishment and restoration of Heathcote Hall, construction of 35 townhouses and 20 apartments, extensive landscape works, and 56 lot strata subdivision is subject to Deferred Commencement in accordance with s63A of the Heritage Act 1977. This approval is subject to the following condition:

a) The applicant is to enter into a heritage agreement with the Minister for Heritage – and have it registered on the title of the property – to ensure:

i. the appropriate conservation works are undertaken prior to the issue of an Occupation Certificate for any new residential development within the curtilage;
ii. development and implementation of a comprehensive maintenance plan which identifies urgent, short, medium and long-term maintenance works in perpetuity;
iii. appropriate interpretation in accordance with an approved interpretation strategy, implemented prior to the issue of an Occupation Certificate for any new residential development within the curtilage;
iv. an annual open day to allow public access to Heathcote Hall;
v. no new structures to be constructed within the reduced landscape setting of Heathcote Hall; and
vi. funding to implement conservation and maintenance works as well as interpretation.

Reason: Despite the adverse heritage impact on the setting of the place, the proposed development is considered the only viable means of funding the required works to conserve the place in perpetuity.

FUTURE WORKS APPLICATION

3. ***The historic use of the Heathcote Hall as a single dwelling shall be retained. A restriction-to-user under the provisions of Section 88B of the Conveyance Act shall be created over Lots 1-2 in DP725184 to prohibit the use of Heathcote Hall for any***

other use other than for single dwelling. The document shall be submitted to both Sutherland Shire Council and the Heritage Council of New South Wales for endorsement prior to lodgement with Land Titles Office for registration. Proof of lodgement with and registration by the Land Titles Office of the endorsed instrument shall be lodged with Sutherland Shire Council prior to issue of any occupation certificate or any subdivision certificate. The only authorities authorised to alter, amend, remove, rescind or otherwise vary the restriction shall be Sutherland Shire Council and the Heritage Council of New South Wales with both authorities being required to concur.

Reason: Removal of the basement parking is approved on the basis the future use of Heathcote Hall will remain as a single dwelling. It is noted a separate Development Application (DA21/0393) has been submitted to demonstrate the applicant's commitment to retain the historic use of Heathcote Hall as a single dwelling.

4. Conservation works set out in the Schedule of Works are approved. However, works relating to the service upgrade and adaptive reuse of Heathcote Hall are not approved, including:

a) kitchen exhaust;
b) WCs (A12, B11);
c) widening of door (D15);
d) removal of dividing wall (between B8 and B11);
e) air-conditioning; and
f) flat roofed structure (A14).

The use and fitout of the place is to form a separate, future application.

Reason: Modifications for a potential future use is premature and could unnecessarily impact significant fabric. Whilst sympathetic adaptive reuse is encouraged, and the proposed modifications may be acceptable, without more detail and a definitive use it is not possible to undertake a thorough heritage impact assessment.

ADDITIONAL INFORMATION

5. ***Landscape Drawings no's LA-03, LA-11, and LAH-01-07, all prepared by DesignInc, submitted with this Section 4.55 application are not satisfactory and therefore, not approved. Amended landscape plans and supporting information shall be submitted with the section 60 application for approval by the Heritage Council of NSW (or delegate), to address the following:***

a) ***Drawing LA03 needs better justification as to how subsidiary paths relate to known 19th century layout, path dimensions and materials, in relation to now-proposed widths, materials and treatment.***

b) ***Removal of all proposed Buxus (box) hedging, lining driveway, paths and garden bed edgings. There is no precedent on this site for box or other hedges, even if used in Victorian gardens, elsewhere.***

c) ***Demonstrating in more detail how these plans and documents comply with and implement requirements of the CMP policies as included in Attachment A.***

6. In order to clarify issues and enable a thorough impact assessment, the following information is to be submitted with the section 60 application for ~~assessment~~ ***approval*** by the Heritage Council of NSW (or delegate):

a) ***Revised, more detailed*** ~~Detailed~~ planting plans are required and are to include proposed revegetation areas, particularly those to the main hall's south and east. Detailed management strategies to retain significant views to Dillwynnia Grove from Heathcote Hall and views from its remnant and recreated drive, paths, pleasure gardens by:

i. controlling shrub heights;
ii. only planting new native trees under or near mature existing ones to bolster groves and elsewhere in the hall's south;
iii. removing new tree seedlings in most of the southern 'fringe';
iv. pruning new tree plantings further in from the boundary where lower branches may block significant views.

Reason: Remaining or recoverable views to and from Heathcote Hall, its remnant and recreated drive, paths, pleasure gardens have higher cultural heritage value relative to that of the site's natural heritage value and should be favoured over the latter. Additional detail has been provided which appears to control shrub height to retain/ reinstate views, however further assessment of the information is required at s60 stage, in conjunction with detailing of the pleasure garden, to ensure appropriate landscaping.

b) Detailed ***revised*** information on the proposed design of the pleasure garden based on further site investigation ***addressing the following:***

i. Drawings LAH-05 and LAH-06, submitted with this Section 4.55 application, require further revision to specify existing , as well as new, plantings - i.e. picking these out in differing colours, to clarify both.
ii. Drawings LAH-05 and LAH-06, submitted with this Section 4.55 application, require further revision to specify reinstated plantings, where previously lost, in the planting scheme .
iii. Strategies to tend, maintain and replant propagated, lost plant material, back in the garden, stake, water, tend and monitor successful establishment of new and reinstated plantings, into the future.
iv. Preparation and submission of detailed future management and maintenance strategies including a Garden Maintenance Strategy (GMS) and Grounds Maintenance Plan (GMP), to prune and manage existing and new plantings, going forward. These strategies must be informed by CMP policies as included in Attachment A.

Reason: To enable investigation of the historical garden and appropriate conservation and reconstruction of this significant garden setting. ***Drawings LAH-5 and LAH-06 require further revisions to remove all proposed Buxus (box) hedging, lining driveway, paths and garden bed edgings as there is no precedent on this site for box hedging. The submission does not meet the requirements of the CMP policies as included in Attachment A.***

~~c) Amended plans showing the detail and location of all fences.~~

~~*Reason: Insufficient information has been provided to enable a thorough impact assessment of this element. The location of the 1200mm picket fence appears at odds with the existing landscape plan, crossing paths at unusual angles. The location of this fence is to be carefully reconsidered in light of the future investigations which are required to aid the detailed design of the pleasure garden.*~~

d) The landscape plans prepared by Tropman and Tropman Architects titled Proposed Buffer Zone Planting plans (L100 – L106, dated 9 April 2019) are not approved. The Buffer Zone Planting Report is approved in principle and is to be considered and incorporated where relevant in the development of the detailed design of the pleasure garden, planting plans, and fencing. ~~The stairs proposed in the 'Old Carriageway Interpretation' are to be removed and the path graded to accommodate the change in levels~~.

Reason: The Buffer Zone Planting Report provides an appropriate means of mitigating the potential adverse impacts on the setting of Heathcote Hall of private open space encroachment into the buffer zone. The approach detailed in the report should be integrated into the detailed design of the pleasure garden. The associated plans are generally supported but are not approved as they encroach into the pleasure garden and do not reflect the detailed investigation required for the final design. ~~*The stairs in the interpreted drive within the buffer zone would impede the interpretive potential of this element.*~~

e) Internal and external paint scrapes are to be taken at Heathcote Hall to determine the early decoration schemes. New paint schemes are to be based on the findings of this investigation.

Reason: No detailed information on the internal or external paint scheme for Heathcote Hall has been provided to enable a thorough heritage impact assessment. To ensure compliance with CMP policy 5.2.27.

f) Amended plans and supporting documentation showing inconsistencies have been rectified. The duplication in numbering of building spaces on the ground floor of Heathcote Hall and ancillary structures is to be removed; ancillary structures are to be renumbered from A1 to C1, etc.

Reason: To ensure there is no confusion over proposed works.

g) Detailed information addressing fire protection of the historic elements of the place.

Reason: No provision for fire protection of the historic dwelling, associated landscaped setting and elements has been indicated. Considering the local bushfire threat, and the significance of the place, means to address this issue should be installed.

DESIGN MODIFICATIONS

7. Repainting of the stair dado (A6) is not approved. Preservation of this significant decoration is required.

Reason: Repaint of this element is contrary to CMP policy 5.2.28. Preservation is preferred and must be investigated.

8. Replacement light fittings in Heathcote Hall are to be appropriate to the character of Heathcote Hall and approved by the nominated heritage consultant.

Reason: To ensure replacement fittings are sympathetic to the aesthetic significance of the place.

9. Ancillary structure A5 (WC) is to be retained and conserved.

Reason: This structure is identified as being of exceptional-high significance in the CMP and should be conserved.

10. ***The Waste Pick-Up area at the Dillwynia Grove vehicle entry is not approved. Amended plans shall be submitted with the section 60 application for approval.***

Reason: To minimise impact on significant sloping embankment in this part of the site and to be consistent with the CMP policies.

11. ***The new sub-station structure and fencing at the Dillwynia Grove vehicle entry is to be screened by appropriate new planting. The landscape plan shall be amended to include the new plantings and submitted with the section 60 application for approval.***

Reason: To minimise impact on significant sloping embankment in this part of the site and to be consistent with the CMP policies.

HISTORICAL ARCHAEOLOGY

12. The applicant shall submit an Archaeological Research Design and Excavation Methodology undertaken by a suitably qualified and experienced historical archaeologist as part of the section 60 application.

Reason: To appropriately manage archaeological resources on the site.

13. The name of a nominated excavation director suitable to satisfy the Excavation Director Criteria of the Heritage Council of NSW for the proposed activity and significance level is submitted with the section 60 application.

Reason: To ensure that archaeological excavation at the site is managed by a suitably qualified excavation director.

14. Following the receipt of the Archaeological Research Design and Excavation Methodology as part of the section 60 application, the Heritage Council of NSW reserves the right to issue Archaeological Conditions as part of the section 60 approval to manage the archaeology. Matters such as (but not limited to) fieldwork methodology, artefact analysis, and final reporting may be included as part of these archaeological conditions.

Reason: To ensure that archaeological resources are managed in accordance with the approved research design and methodology.

15. This archaeological approval does not cover the removal of any State significant relics. This approval covers the archaeological monitoring of works which may disturb or expose relics. Only relics of local heritage significance can be removed.

Reason: To ensure that locally significant relics are appropriately managed, and State significant relics are not removed.

UNEXPECTED HISTORICAL ARCHAEOLOGICAL RELICS

16. The applicant must ensure that if unexpected archaeological deposits or relics not identified and considered in the supporting documents for this approval are discovered, work must cease in the affected area(s) and the Heritage Council of NSW must be notified. Additional assessment and approval may be required prior to works continuing in the affected area(s) based on the nature of the discovery.

Reason: This is a standard condition to identify to the Applicant how to proceed if unexpected historical archaeological relics are discovered on site.

ABORIGINAL OBJECTS

17. Should any Aboriginal 'objects' be uncovered by the work, excavation or disturbance of the area is to stop immediately and the Office of Environment & Heritage is to be informed in accordance with Section 89A of the National Parks and Wildlife Act, 1974 (as amended). Works affecting Aboriginal 'objects' on the site must not continue until the Office of Environment and Heritage has been informed. Aboriginal 'objects' must be managed in accordance with the National Parks and Wildlife Act, 1974.

Reason: This is a standard condition to identify to the Applicant how to proceed if Aboriginal objects are unexpectedly identified during works.

HERITAGE CONSULTANT

18. A suitably qualified and experienced heritage consultant must be nominated for this project. The nominated heritage consultant must provide input into the detailed design, provide heritage information to be imparted to all tradespeople during site inductions, and oversee the works to minimise impacts to heritage values. The nominated heritage consultant must be involved in the selection of appropriate tradespersons and must be satisfied that all work has been carried out in accordance with the conditions of this consent.

Reason: So that appropriate heritage advice is provided to support best practice conservation and ensure works are undertaken in accordance with this approval.

HERITAGE INTERPRETATION STRATEGY

19. An interpretation plan must be prepared in accordance with the NSW Heritage Division publication Interpreting Heritage Places and Items Guidelines and submitted for approval to the Heritage Council of NSW (or delegate) prior to the issue of any Construction Certificate.

20. The interpretation plan must detail how information on the history and significance of name of item will be provided for the public, and make recommendations regarding public accessibility, signage and lighting. The plan must identify the types, locations, materials, colours, dimensions, fixings and text of interpretive devices that will be installed as part of this project.

21. The approved interpretation plan must be implemented prior to the issue of an occupation certificate for any residential development within the curtilage of Heathcote Hall.

Reason: Whilst interpretation is generally encouraged, the proposal should be informed by an interpretation strategy to ensure that interpretation is cohesive and appropriate to convey the significance of the site. Interpretation is an important part of every proposal for works at heritage places.

SITE PROTECTION

22. Significant built and landscape elements are to be protected during site preparation and the works from potential damage. Protection systems must ensure significant fabric, including landscape elements, is not damaged or removed.

Reason: To ensure significant fabric including vegetation is protected during construction.

PHOTOGRAPHIC ARCHIVAL RECORDING

23. A photographic archival recording of Heathcote Hall (including built and landscape elements and the setting) must be prepared prior to the commencement of works. This recording must be in accordance with the NSW Heritage Division publication Photographic Recording of Heritage Items using Film or Digital Capture (2006). The digital copy of the archival record must be provided to the Heritage Division, Office of Environment and Heritage.

Reason: To capture the condition and appearance of the place prior to modification of the site which impacts significant fabric.

COMPLIANCE

24. If requested, the applicant and any nominated heritage consultant may be required to participate in audits of Heritage Council of NSW approvals to confirm compliance with conditions of consent.

Reason: To ensure that the proposed works are completed as approved.

SECTION 60 APPLICATION

25. An application under section 60 of the Heritage Act 1977 must be submitted to, and approved by, the Heritage Council of NSW (or delegate) prior to work commencing.

Reason: To meet legislative requirements.

ADVICE

Section 148 of the *Heritage Act 1977* (the *Act*), allows people authorised by the Minister to enter and inspect, for the purposes of the Act, with respect to buildings, works, relics, moveable objects, places or items that is or contains an item of environmental heritage. Reasonable notice must be given for the inspection.

If you have any questions regarding the above approval, please contact Shikha Jhaldiyal, Senior Heritage Assessments Officer at Heritage, Department of Premier and Cabinet, on 9873 8545 or shikha.jhaldiyal@environment.nsw.gov.au or Stuart Read, Senior Heritage Operations Officer, Metro South Team, on 9873 8554 or stuart.read@environment.nsw.gov.au

Yours sincerely

BARRINA SOUTH
Acting Regional Manager Southern
Heritage NSW, Department of Premier and Cabinet
As Delegate of the Heritage Council of NSW

Date: 25 August 2021

ATTACHMENT A

Conservation Management Plan Policies

- ***5.2.5 Cyclical maintenance schedule for the grounds***
- ***5.2.6 Cyclical maintenance plan for the grounds and garden***
- ***5.2.10 Recording existing layout and key elements prior to works and change***
- ***5.2.12 conservation treatment of elements ranked exceptional and high (e.g. path system around house)***
- ***5.2.13 garden and landscape conservation according to ranking levels***
- ***5.3.1 conservation treatment of garden elements according to ranking levels***
- ***5.3.4 conservation of layout and fabric ranked high (including drives, garden bed layout), not adaptation***
- ***5.3.12 conservation of external layout and original features (not adaptation).***
- ***5.3.13 & 14 detailed survey & archaeological testing of original carriage drive.***
- ***5.3.16 no new introduction of additional layout in immediate vicinity of the house.***
- ***5.3.23 (encouraging Kitchen Garden reinstatement, specifying that cuttings taken will be replanted, show where on plan(s), and when this will be done.)***
- ***5.3.24 (reinstating lost plantings with precedent on site, or surviving, ailing ones, specifying how, when, and by whom, propagation, planting, reinstatement, training, maintenance and monitoring of lost, 'to-be-reinstated' plantings will occur)***
- ***5.3.25-27 original garden and drive edge glazed tiles – careful reinstatement work.***
- ***5.3.31 (no hedges behind picket or other perimeter fences, control of height of existing hedging plants (Tecomaria capensis) to maintain views)***
- ***5.3.33 (propagation and planned succession planting plans for identified older indigenous forest trees in a state of decline or needing removal)***
- ***5.3.35 (a-h) (training of all grounds maintenance staff by a qualified, experienced horticulturist with experience in historic gardens, actions to specified plantings on site, propagation of Camellia cultivars and all significant and contributory plants on or off site before they age and die, care for sloping lawn to southwest of house, good horticultural maintenance practices. All planting plans must be reviewed and revised to specify (and on-site, label) existing, as well as new, plantings – picking these out in differing colours. And specify training, maintenance and monitoring of all plantings, including new ones, i.e. how, when, and by whom, propagation, planting, reinstatement, training, maintenance and monitoring of lost plantings will occur. All planting plans must also include,***

labelled, all existing garden plants, picked out in a different colour. Also specifying training, maintenance and monitoring of all plantings, including new ones at this time)5.3.38 (specifying where and when cuttings taken of plants on site will be planted)

- ***5.3.37 (specifying propagation of Pinus radiata from seed, not cuttings)***

- ***5.3.38 (specifying where and when cuttings taken of plants on site will be planted)***

- ***5.3.39 (demonstrating what, where, when in terms of staged succession planting)***

- ***5.3.40 (retention and pruning of more rampant species, maintenance of views)***

- ***5.3.41 (specifying tree protection measures during construction, and ongoing maintenance and monitoring of all trees of high or exceptional significance)***

- ***5.3.42 (specifications in the Garden Maintenance Strategy to manage nuisance plant species, prevent spread beyond intended locations, including hedge pruning)***

- ***5.3.43 (Grounds Maintenance Plan, 6-monthly inspections by a qualified, experienced horticulturist with heritage gardens, re weedy species management, hedge pruning)***

- ***5.3.44 (Strata Executive body's management of herbicide spray application on site)***

- ***5.3.45 (ensure an appropriate restoration/reconstruction scheme for the pleasure grounds consistent with physical and archival evidence on this site)***

- ***5.3.46 (ensure Strata Executive body has appropriate maintenance and monitoring program including 6-monthly inspections, staged propagation, replanting, planting and bolstering of significant and contributory plantings on site, pruning, etc)***

- ***5.3.47 (ensure Strata Executive body monitors health and condition of all significant and contributory plants on site every 6 months, based on inspection and recommendations of grounds staff)***

- ***5.3.48 (Strata Executive body makes annual reports on progress of garden and plantings to the Heritage Council of NSW, copies to Sutherland Shire Council)***

- ***5.3.52 (further investigation of garden shed east of house, possible early coach house, proposed works, repairs and ongoing use).***

NSW RURAL FIRE SERVICE

Sutherland Shire Council
Locked Bag 17
SUTHERLAND NSW 1499

Your reference: MA21/0051 (CNR-19233)
Our reference: DA-2017-05012-S4.55-1

ATTENTION: Sutherland Shire Council

Date: Monday 7 June 2021

Dear Sir/Madam,

Development Application
s100B – Subdivision – Strata Title Subdivision
1-21 Dillwynnia Grove Heathcote NSW 2233, 2//DP725184, 1//DP725184

I refer to your correspondence regarding the above proposal which was received by the NSW Rural Fire Service on 13/04/2021.

The NSW Rural Fire Service (NSW RFS) has reviewed the amended information provided in relation to the above subdivision development in accordance with the *Environmental Planning and Assessment Act 1979* and raises no objections subject to original conditions dated 27 April 2018.

For any queries regarding this correspondence, please contact Rohini Belapurkar on 1300 NSW RFS.

Yours sincerely,

Kalpana Varghese
Supervisor Development Assessment & Plan
Built & Natural Environment

Postal address

NSW Rural Fire Service
Locked Bag 17
GRANVILLE NSW 2142

Street address

NSW Rural Fire Service
4 Murray Rose Ave
SYDNEY OLYMPIC PARK NSW 2127

T (02) 8741 5555
F (02) 8741 5550
www.rfs.nsw.gov.au

HEATHCOTE GROUNDS

1-21 DILLWYNNIA GROVE, HEATHCOTE 2233 NSW

LIST OF S4.55 DRAWINGS

SHEET NO.	SHEET NAME	Current Revision
MOD00	COVER SHEET	A
MOD01	SITE PLAN ROOF PLAN	A
MOD05	LOWER BASEMENT B2	A
MOD06	BASEMENT FLOOR PLAN - B1	A
MOD07	GROUND FLOOR PLAN	A
MOD08	FIRST FLOOR PLAN	A
MOD09	SECOND FLOOR PLAN	A
MOD10	EAST, NORTH, WEST & SOUTH ELEVATIONS	A
MOD11	SECTIONS A-A, B-B, C-C & D-D	A
MOD12	SECTIONS E-E, F-F, G-G & I-I	A
MOD13	SECTIONS H-H, J-J, K-K	A
MOD15	FSR CALCULATIONS	A
MOD16	ADAPTABLE TOWNHOUSE 7, 8, 11 & 12	A
MOD17	ADAPTABLE TOWNHOUSE 13, 14, 22 & APARTMENT B101, B103, B201, B203	A
MOD20	MATERIAL FINISHES BOARD	A

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Nominated Architects

Sandeep Amin 7337 | Ian Armstrong 7360 | Richard Dees 8126 | Cathryn Drew-Brodin 7269 | Mary Anne McGirr 10946 |

HEATHCOTE GROUND PTY LTD

CLIENT

HEATHCOTE GROUNDS

1-21 Dillwynnia Grove,
Heathcote NSW 2233

COVER SHEET

DesignInc

DesignInc Sydney Pty Ltd

Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+ 61 2 8905 7100
sydney@designinc.com.au

DATE 15/01/2021
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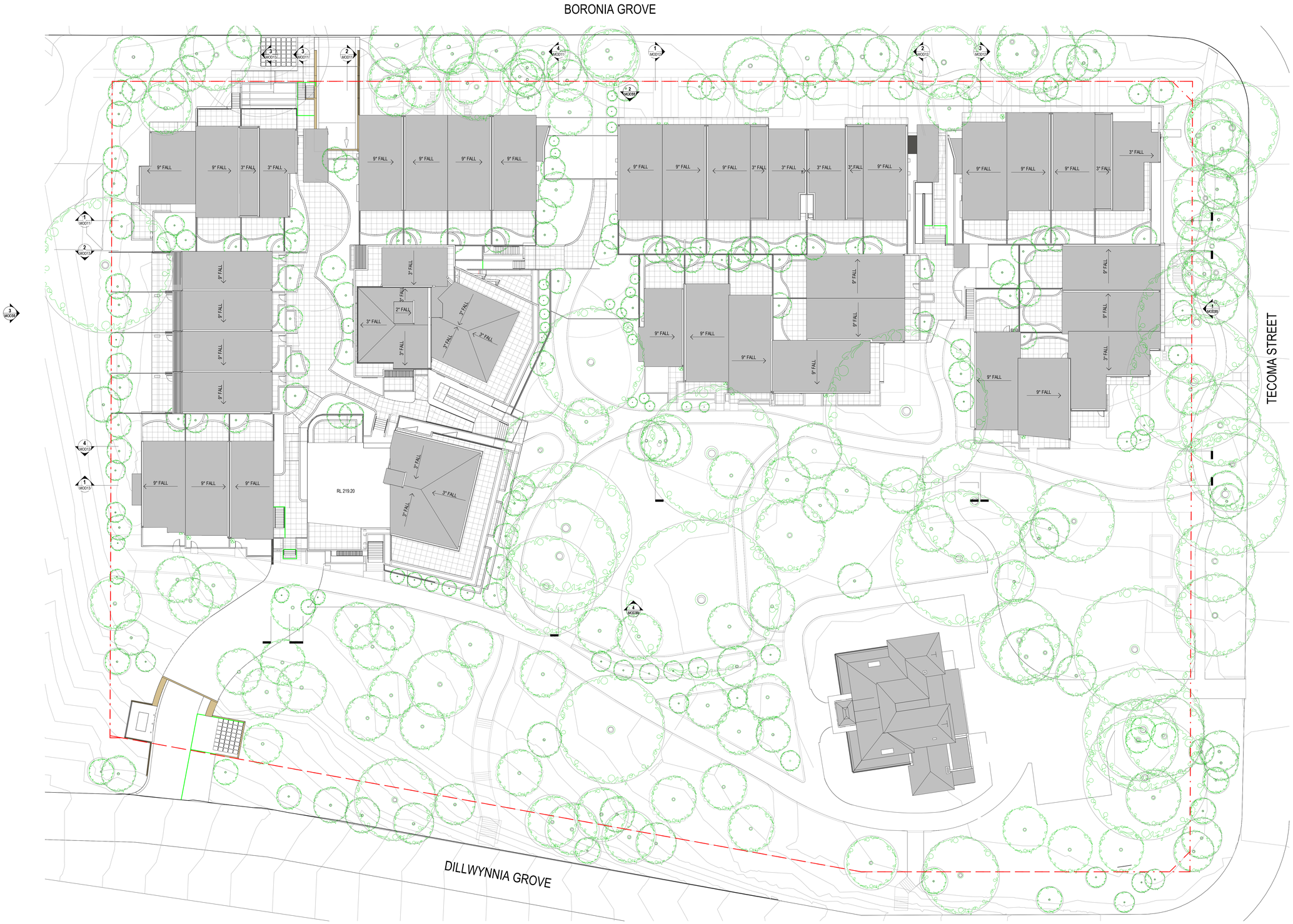

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Nominated Architects
Sandeep Amin 7327 | Ian Armstrong 7360 | Richard Dore 8126 | Cathryn Drew-Brodin 7369
(Acting from 01Oct 1998)

SITE PLAN-DA

Revision 22 Revised 21/01/2021 (CORSU-CN/1616004)

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HEATHCOTE GROUND PTY LTD

CLIENT

HEATHCOTE GROUNDS

1-21 Dillwynnia Grove,
Heathcote NSW 2233

SITE PLAN ROOF PLAN

DesignInc

DesignInc Sydney Pty Ltd

Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+ 61 2 8905 7100
sydney@designinc.com.au

DATE 15/01/2021
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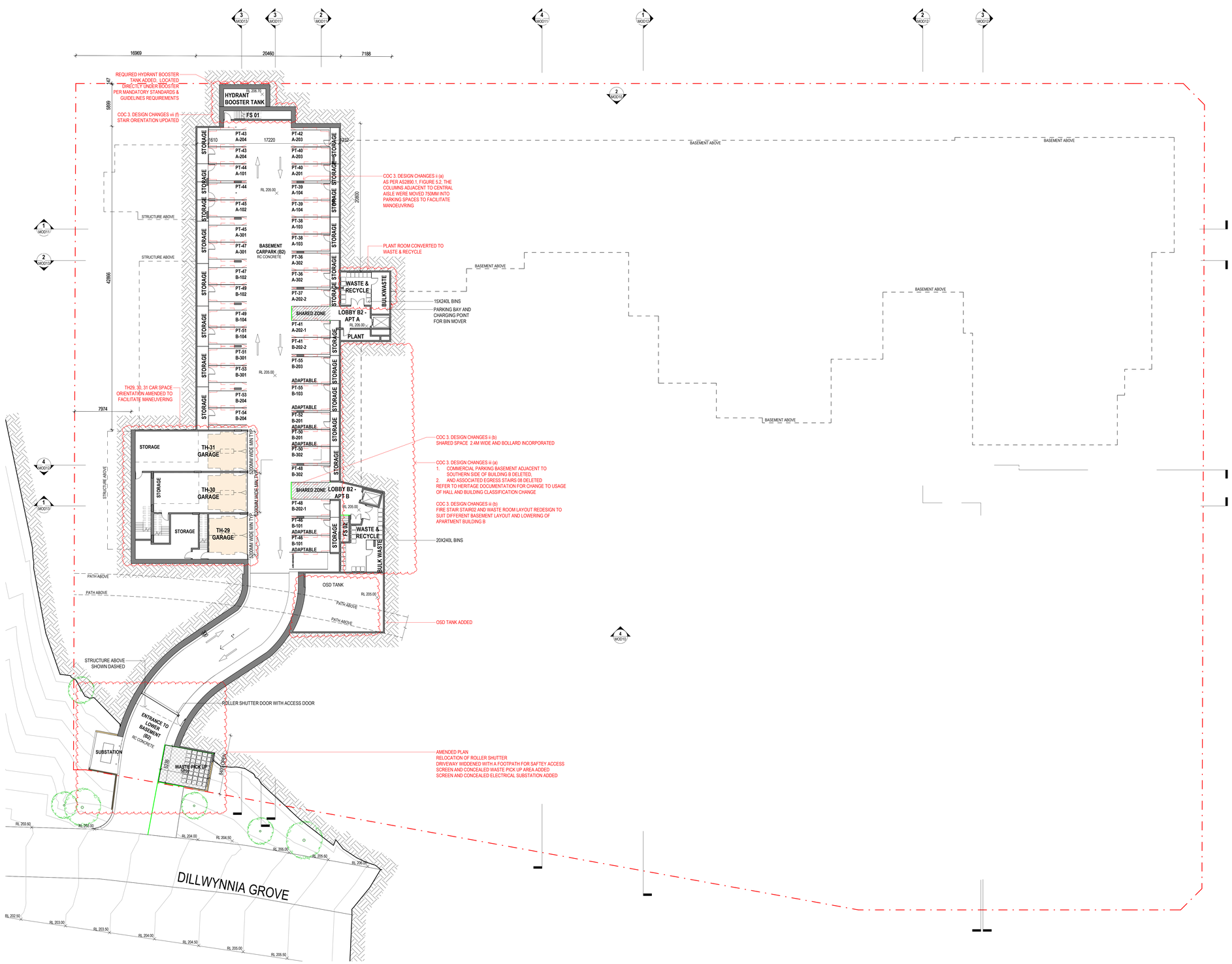

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Nominated Architects
Sandrejs Arnis 7327 | Ian Armstrong 7360 | Richard Doss 8126 | Cathryn Drew-Brodin 7369 | Mary Anne McGirr 10046 |

HEATHCOTE GROUND PTY LTD

CLIENT

HEATHCOTE GROUNDS

1-21 Dillwynnia Grove,
Heathcote NSW 2233

LOWER BASEMENT B2

DesignInc

DesignInc Sydney Pty Ltd

Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

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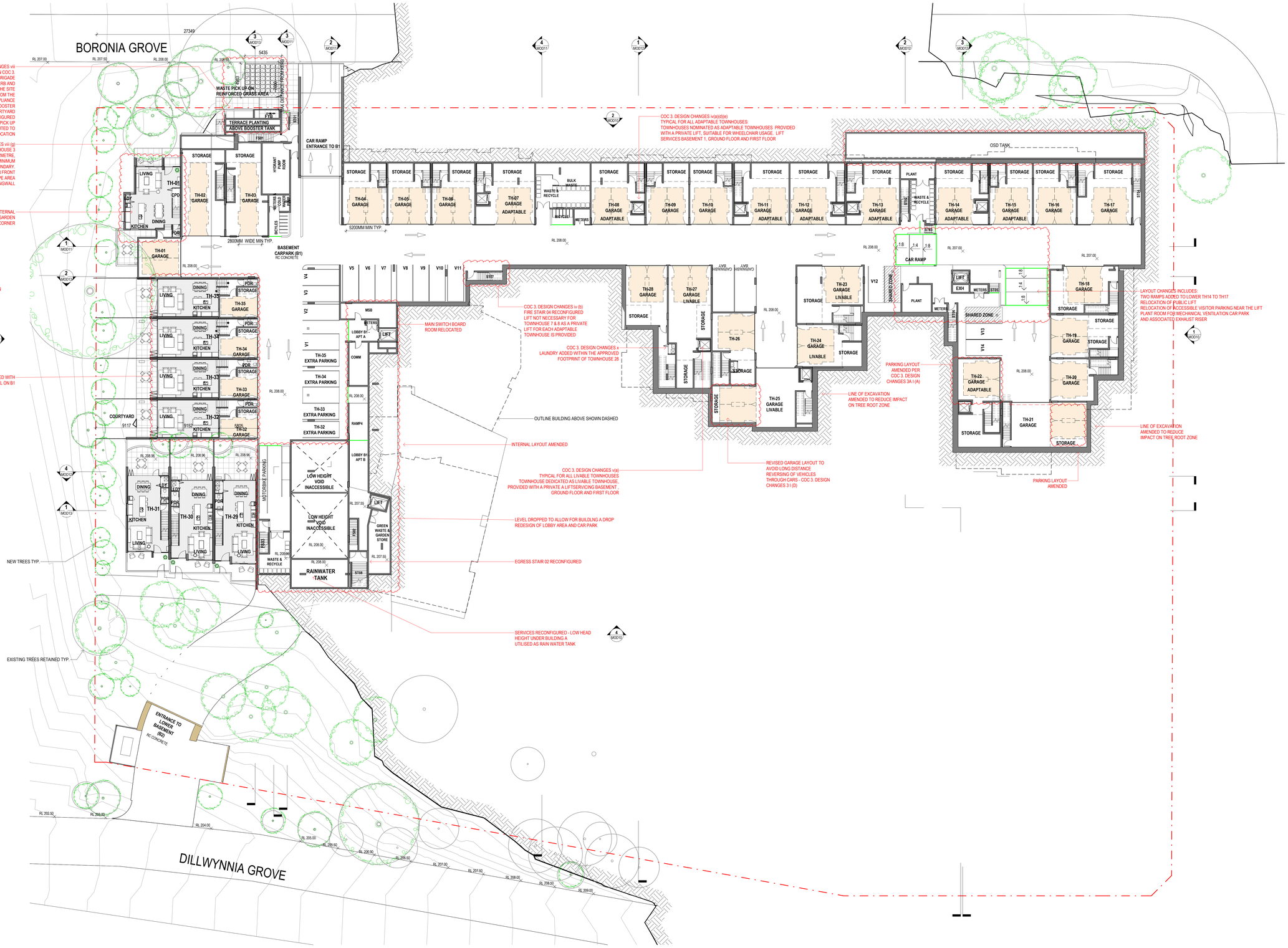
PROJECT Nº.	DRAWING Nº.	REVISION
P20-056	MOD05	A



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BASEMENT FLOOR PLAN - B1

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+ 61 2 8923 7100
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P20-056	MOD06	A

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PROJECT Nº.	DRAWING Nº.	REVISION
P20-056	MOD07	A

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P20-056	MOD08	A

N

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SECOND FLOOR PLAN

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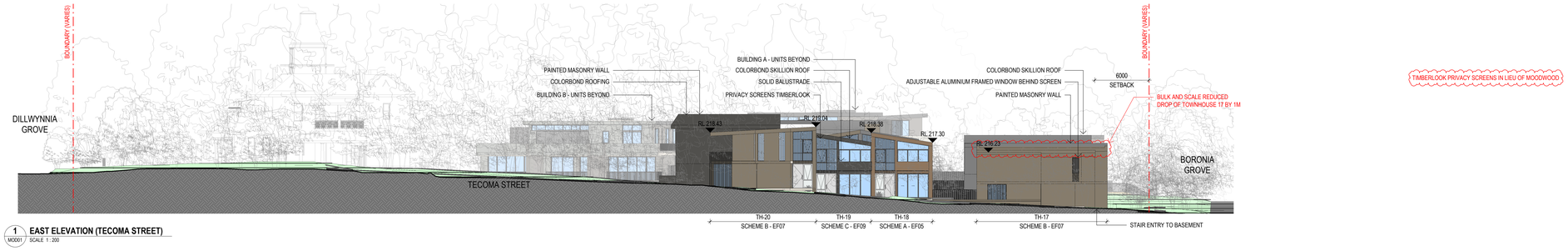
PROJECT Nº.	DRAWING Nº.	REVISION
P20-056	MOD09	A



TIMBERLOOK PRIVACY SCREENS IN LIEU OF WOODWOOD

1 MOD01 **EAST ELEVATION (TECOMA STREET)**
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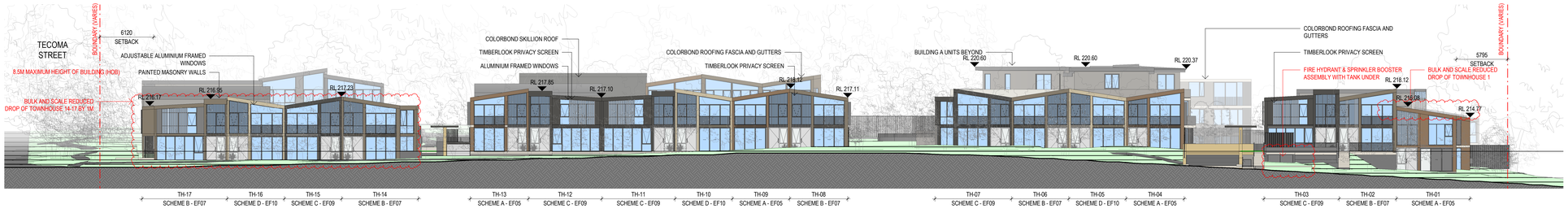

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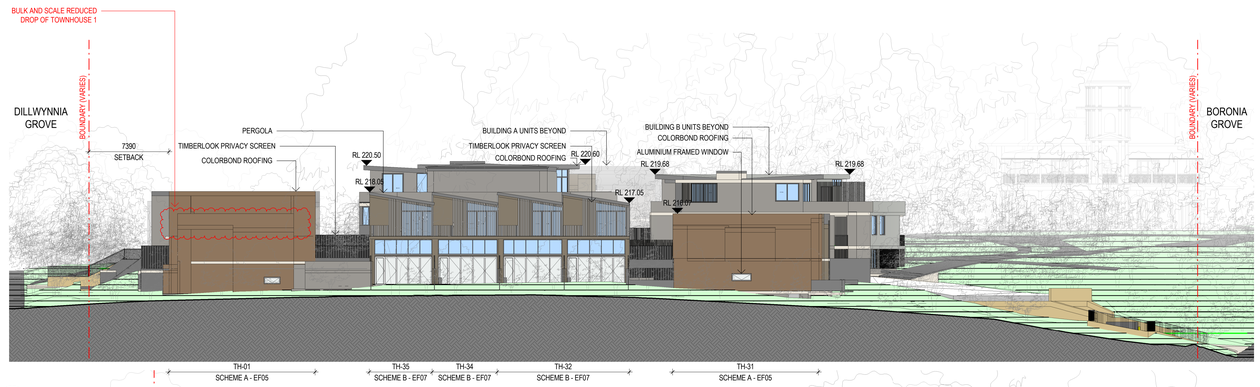

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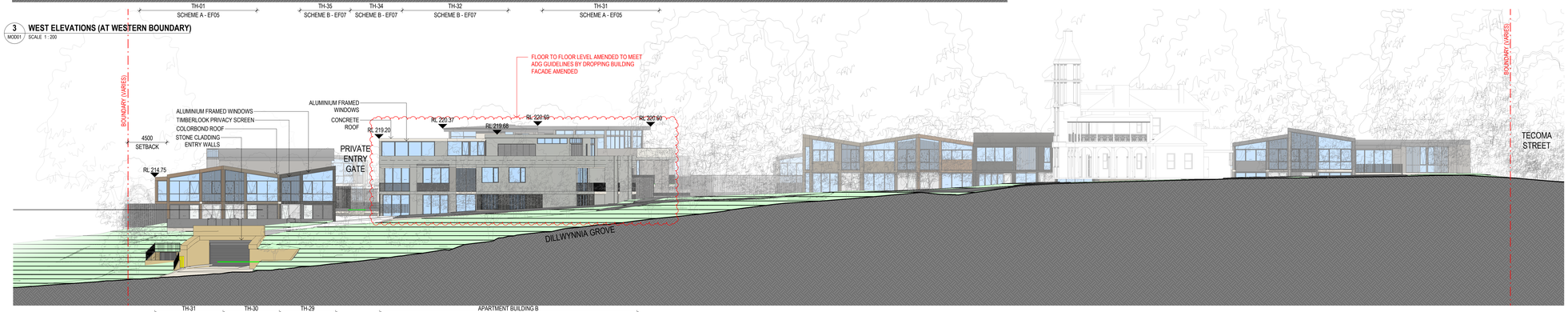

4 A2050 **SOUTH ELEVATION (DILLWYNNIA GROVE)**
SCALE 1 : 200

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EAST, NORTH, WEST & SOUTH ELEVATIONS

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PROJECT N°.	DRAWING N°.	REVISION
P20-056	MOD10	A

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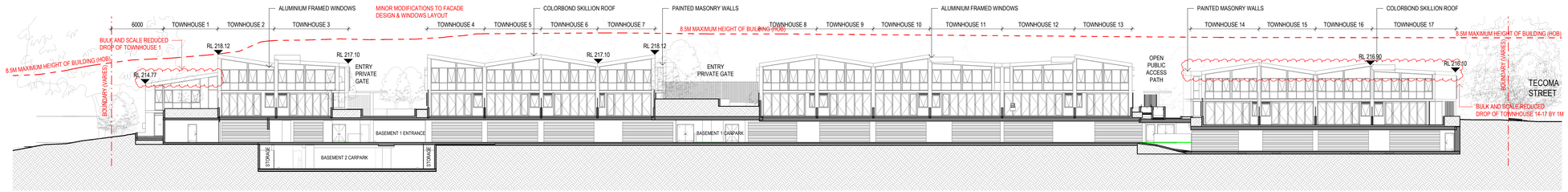

1 SECTION A-A
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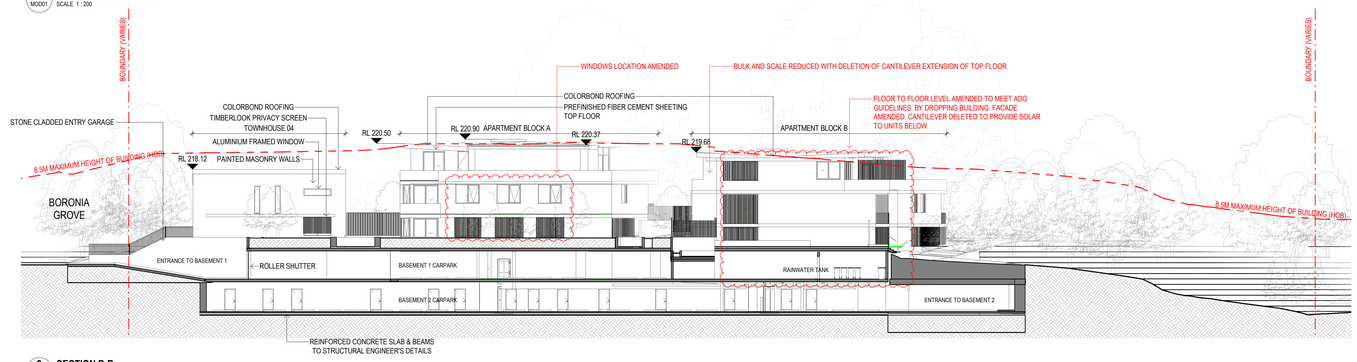

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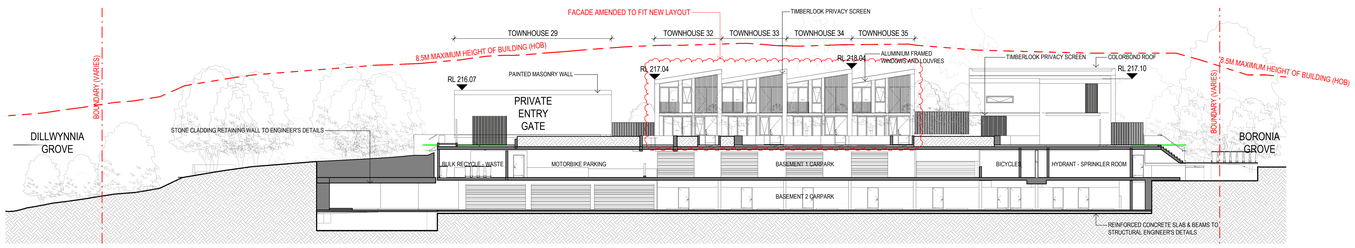

3 SECTION C-C
MOD01 SCALE 1 : 200

4 SECTION D-D
MOD01 SCALE 1 : 200

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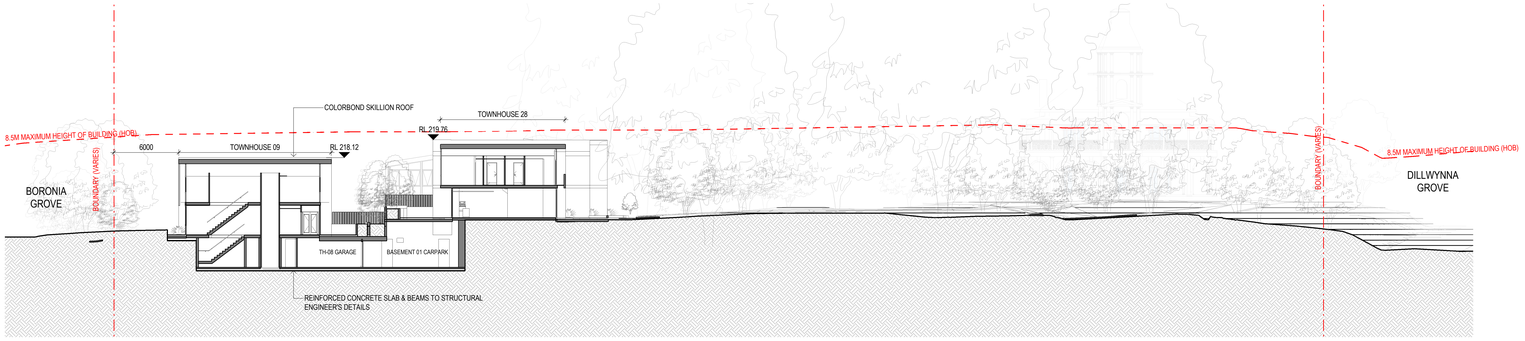
PROJECT Nº.	DRAWING Nº.	REVISION
P20-056	MOD11	A



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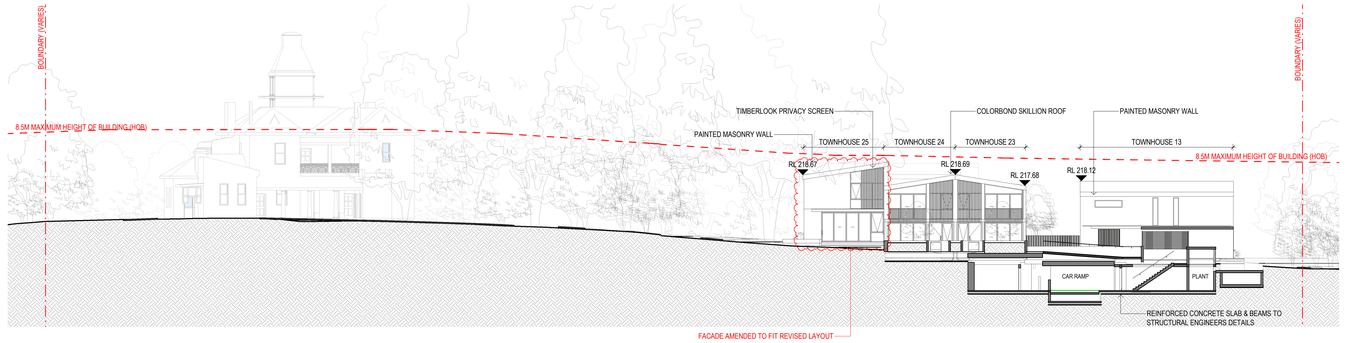

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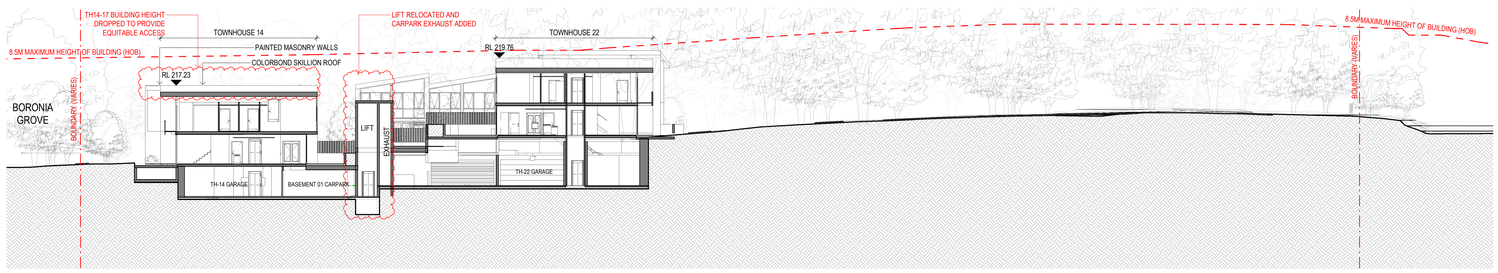

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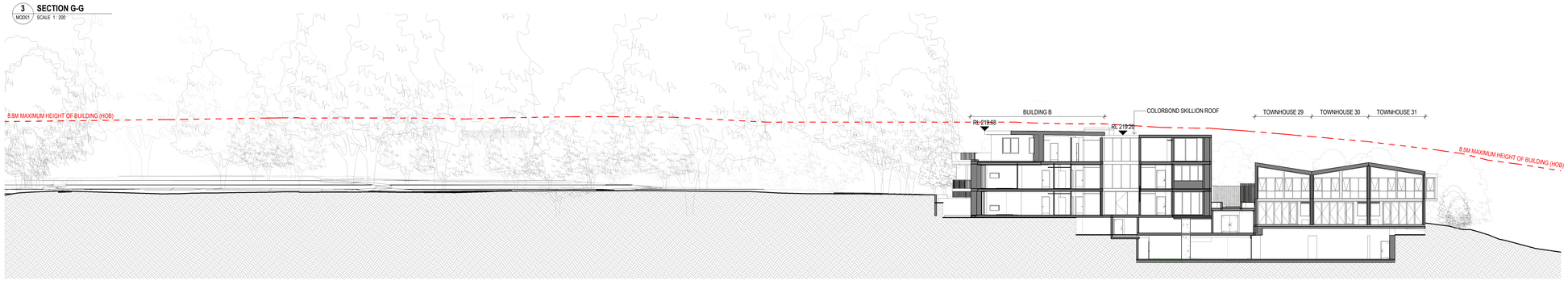

4 SECTION I-I
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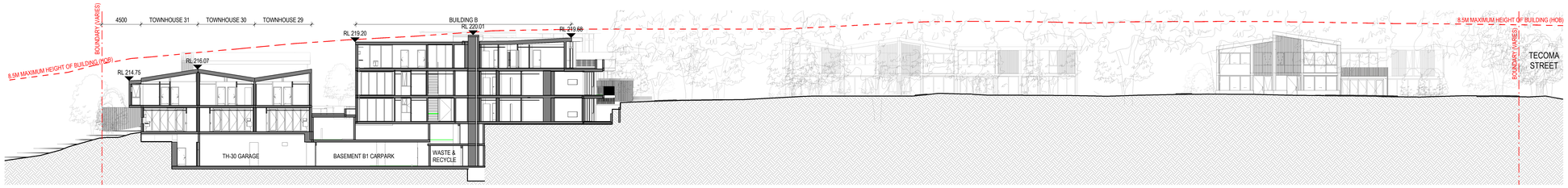
PROJECT Nº.	DRAWING Nº.	REVISION
P20-056	MOD12	A



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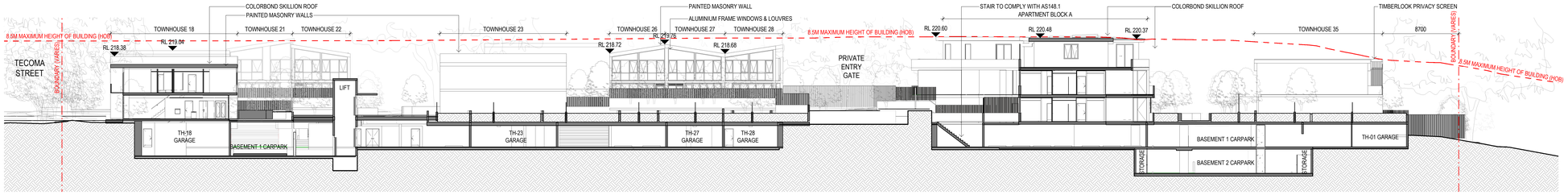

2 SECTION J-J
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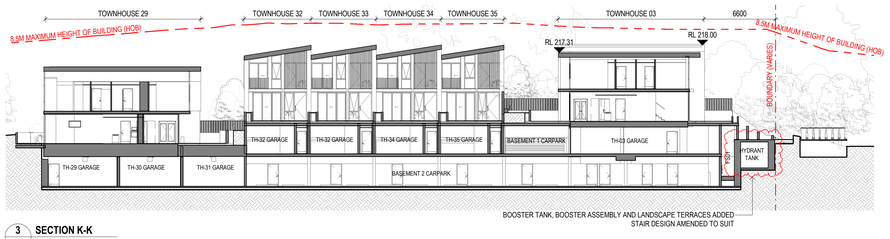

3 SECTION K-K
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P20-056	MOD13	A

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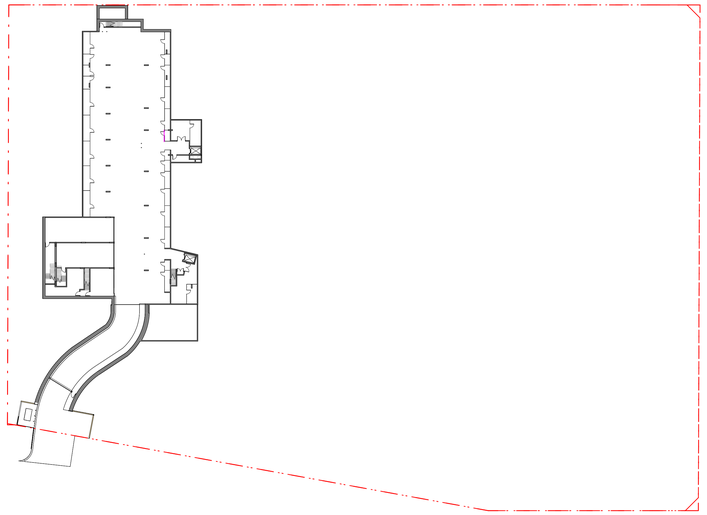
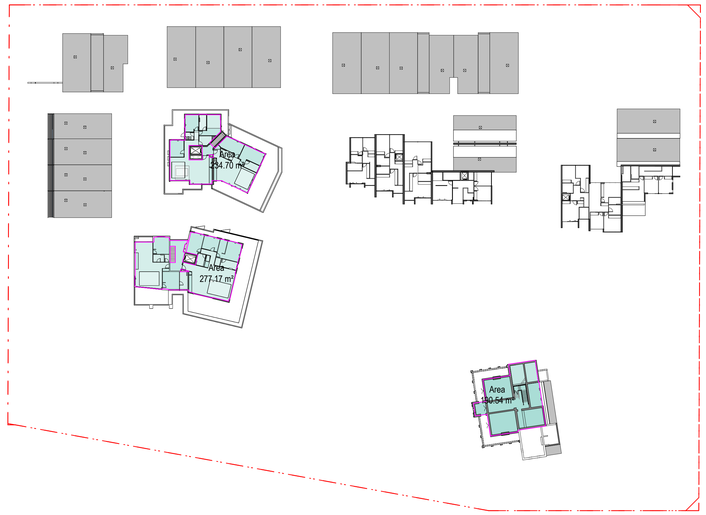
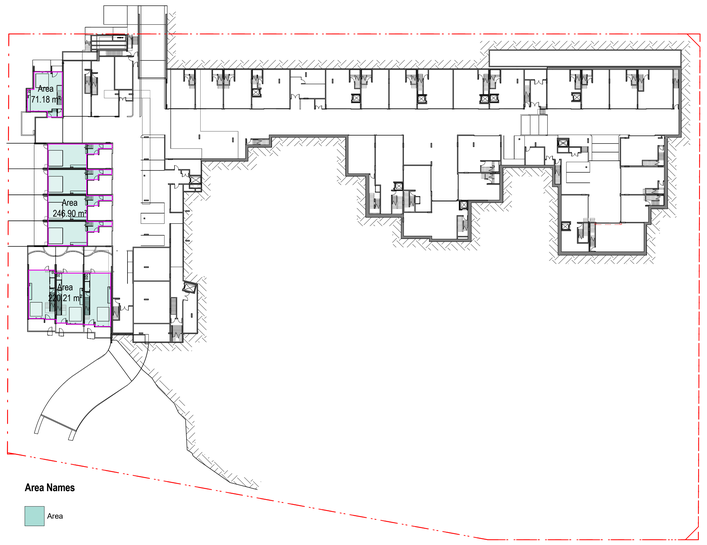


BASEMENT B2

FSR-GFA_GROUND FLOOR



FSR-GFA_SECOND FLOOR



BASEMENT B1

FSR-GFA_FIRST FLOOR

GFA AREA	
Level	Area
BASEMENT B1	538.28 m²
GROUND FLOOR	3304.01 m²
FIRST FLOOR	3445.78 m²
SECOND FLOOR	702.41 m²
TOTAL GFA AREA	7990.49 m²

SITE AREA: 17493.6
FSR 0.45:1
FSR MAX 0.55:1
MAX GFA 9621.48
GFA PER PLANNING REPORT 7677.67

NOTE: STAIR AND LIFT WELL CALCULATED IN ACCORDANCE WITH:
Charni v Lane Cove Council [2015] NSWLEC 1003

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FSR CALCULATIONS

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DRAWN Author
CHECKED Checker

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P20-056	MOD15	A

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PRE ADAPTED LAYOUT

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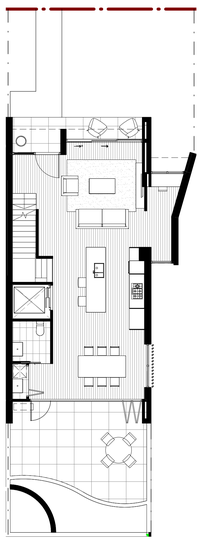

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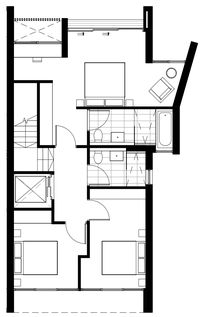

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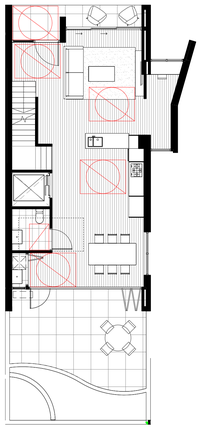

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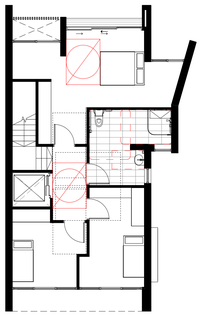

FIRST FLOOR

PRE ADAPTED LAYOUT

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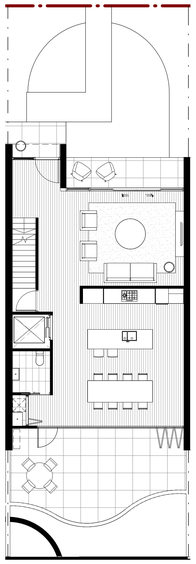

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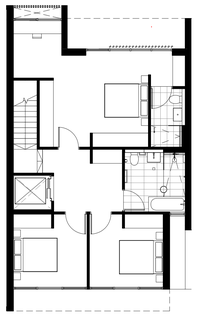

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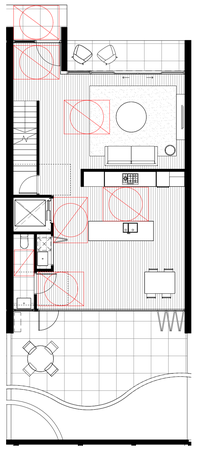

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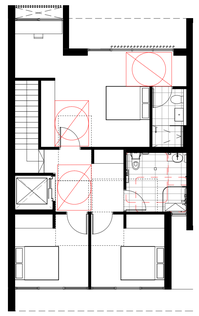

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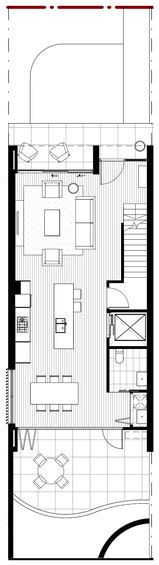

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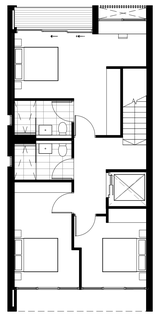

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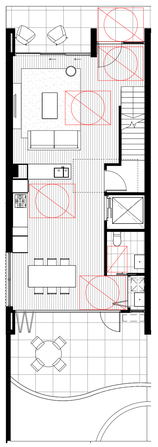

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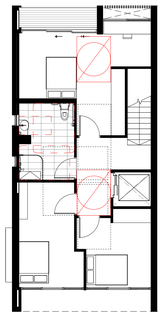

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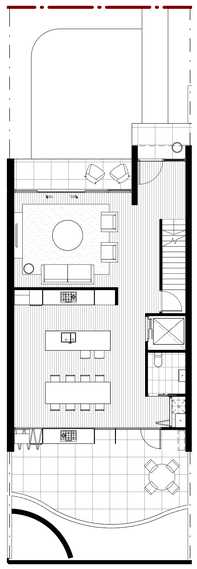
TOWNHOUSE NO 12



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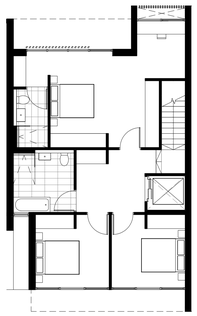

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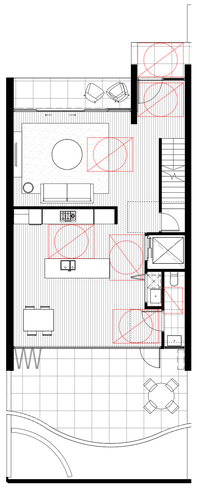

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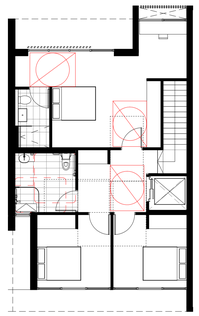

FIRST FLOOR

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Nominated Architects

Gordon Anim 7327 | Ian Armstrong 7260 | Richard Dore 8126 | Cathryn Drew-Brodin 7269 | Mary Anne McGirr 10946 |

HEATHCOTE GROUND PTY LTD

CLIENT

HEATHCOTE GROUNDS

1-21 Dillwynnia Grove,
Heathcote NSW 2233

ADAPTABLE TOWNHOUSE 7, 8, 11 & 12

DesignInc

DesignInc Sydney Pty Ltd

Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

DATE 15/01/2021
SCALES 1 : 100 @A0

DRAWN NU
CHECKED LVE

0 1000 2000 3000 4000 5000 mm
SCALE BAR - 1:100

PROJECT Nº.	DRAWING Nº.	REVISION
P20-056	MOD16	A

PRE ADAPTED LAYOUT

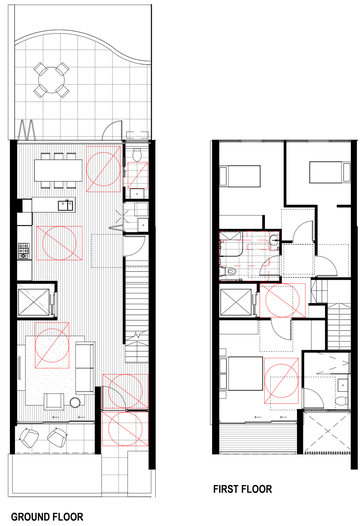
TOWNHOUSE NO 13

POST ADAPTED LAYOUT

PRE ADAPTED LAYOUT

TOWNHOUSE NO 22

POST ADAPTED LAYOUT



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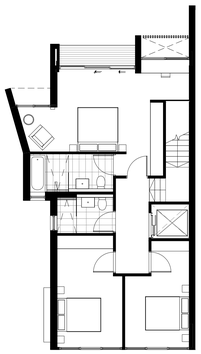

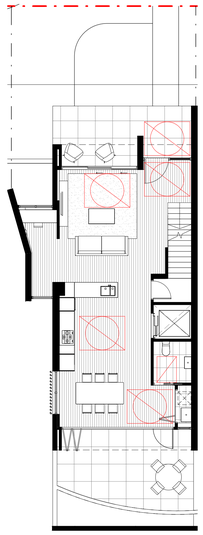

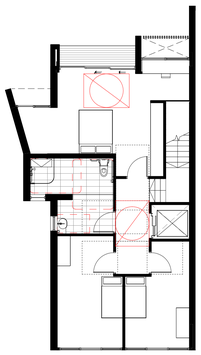

APARTMENT UNIT B101 & B201
(OUTDOOR AREA DIFFERS)

APARTMENT UNIT B103 & B203
(OUTDOOR AREA DIFFERS)

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Nominated Architects
Gordon Anim 7327 | Ian Armstrong 7260 | Richard Dore 8126 | Cathryn Drew-Brodin 7269 | Mary Anne McGirr 10946 |

HEATHCOTE GROUND PTY LTD

CLIENT

HEATHCOTE GROUNDS

1-21 Dillwynnia Grove,
Heathcote NSW 2233

ADAPTABLE TOWNHOUSE 13, 14, 22 & APARTMENT B101, B103, B201, B203

DesignInc

DesignInc Sydney Pty Ltd

Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

DATE 15/01/2021
SCALES 1 : 100 @A0

DRAWN Author
CHECKED Checker

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SCALE BAR - 1:100

PROJECT N°.	DRAWING N°.	REVISION
P20-056	MOD17	A

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MASONRY WALLS, COLORBOND ROOF, FASCIAS & GUTTERS

EVENING HAZE W BC4
TAUBMANS FINISHED

MASONRY WALLS, COLORBOND ROOF, FASCIAS & GUTTERS

TOFFEE TART C6 EDT.
TAUBMANS FINISHED

CONCRETE SLAB & MASONRY BLOCK WALL

ARCHITEC HONED ALABASTER
190X390

MASONRY WALLS, COLORBOND ROOF, FASCIAS & GUTTERS

MONUMENT EB C29
TAUBMANS FINISHED

MASONRY WALLS, COLORBOND ROOF, FASCIAS & GUTTERS

GULLY D C32
TAUBMANS FINISHED

MASONRY WALLS, COLORBOND ROOF, FASCIAS & GUTTERS

TOFFEE TART C6 EDT.
TAUBMANS FINISHED

SCREENING

DECOWOOD CONTEMPORARY - SMOKED ASH

BASEMENT DOORS, ALUMINIUM FRAMED EXTERIOR DOORS, WINDOWS & LOUVRES

MONUMENT EB C29
TAUBMANS FINISHED

SCREENING

DECOWOOD CONTEMPORARY - DRIFTWOOD

MASONRY ENTRY WALLS & SANDSTONE CLADDING

RANDOM RUBBLE FINISHED

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Nominated Architects
Sandeep Arora 7327 | Ian Armstrong 7260 | Richard Dore 8126 | Cathryn Drew-Brodin 7269
| Mary Anne McGirr 10946 |

HEATHCOTE GROUND PTY LTD

CLIENT

HEATHCOTE GROUNDS

1-21 Dillwynnia Grove,
Heathcote NSW 2233

MATERIAL FINISHES BOARD

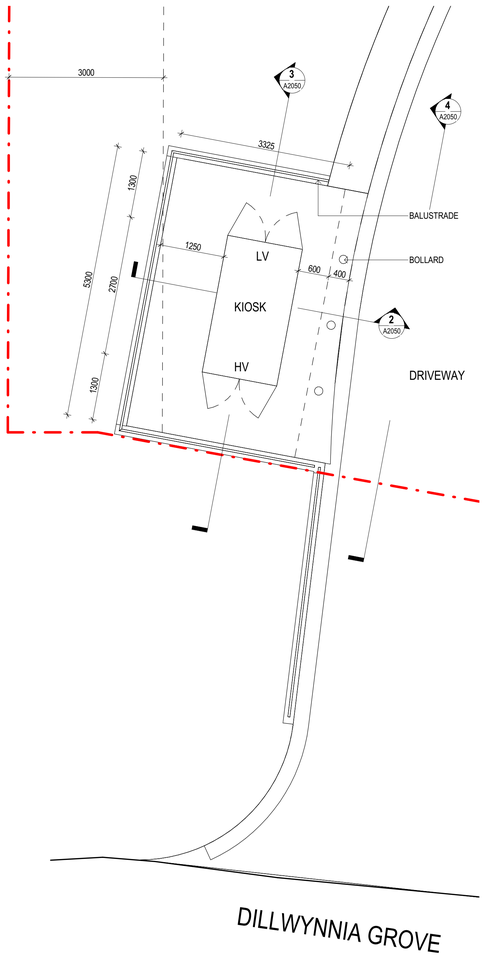
DesignInc

DesignInc Sydney Pty Ltd

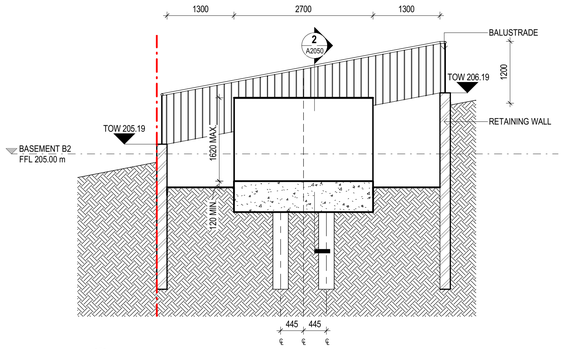
Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+ 61 2 8905 7100
sydney@designinc.com.au

DATE	15/01/2021	DRAWN	NU
SCALES	1 : 100 @A0	CHECKED	LVE

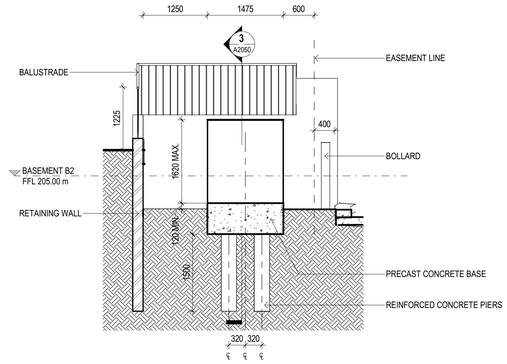
PROJECT Nº.	DRAWING Nº.	REVISION
P20-056	MOD20	A



1 A301 **SUBSTATION PLAN DETAIL**
SCALE 1 : 50



3 A2050 **SUBSTATION SECTION 2**
SCALE 1 : 50



2 A2050 **SUBSTATION SECTION 1**
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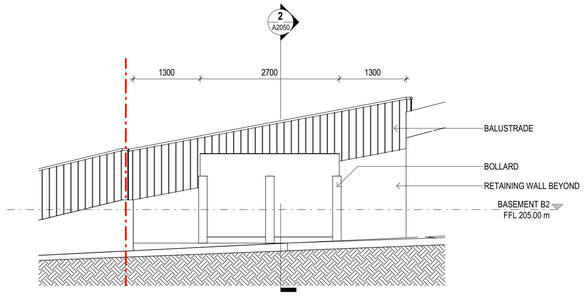

4 A2050 **SUBSTATION SECTION 3**
SCALE 1 : 50

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SCALE BAR - 1:100

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Nominated Architects
Sandeep Arkin 7337 | Ian Armstrong 7260 | Richard Does 8126 | Cathryn Drew-Bredin 7269 | Mary Anne McGirr 10946 |

No	DATE	REVISIONS	BY

ARCHITECT

DesignInc

DesignInc Sydney Pty Ltd

Level 14, 65 Castlereagh Street
Sydney NSW 2000 Australia
+ 61 2 8905 7100
sydney@designinc.com.au

CLIENT

HEATHCOTE GROUNDS PTY LTD
Level 23 Deutsche Bank Place,
126 Phillip Street, Sydney NSW 2000

PROJECT

HEATHCOTE GROUNDS

1-21 DILLWYNNIA GROVE,
HEATHCOTE 2233 NSW

TITLE

EXTERNAL DETAILS - SUBSTATION

DRAWN BY	Author
SCALES	1 : 50 @B1
PLOT DATE	
PROJECT Nº.	P20-056
DRAWING Nº.	A2050
REVISION	

DRAWING STATUS	REVIEWED BY	SIGNATURE	DATE
	Checker		

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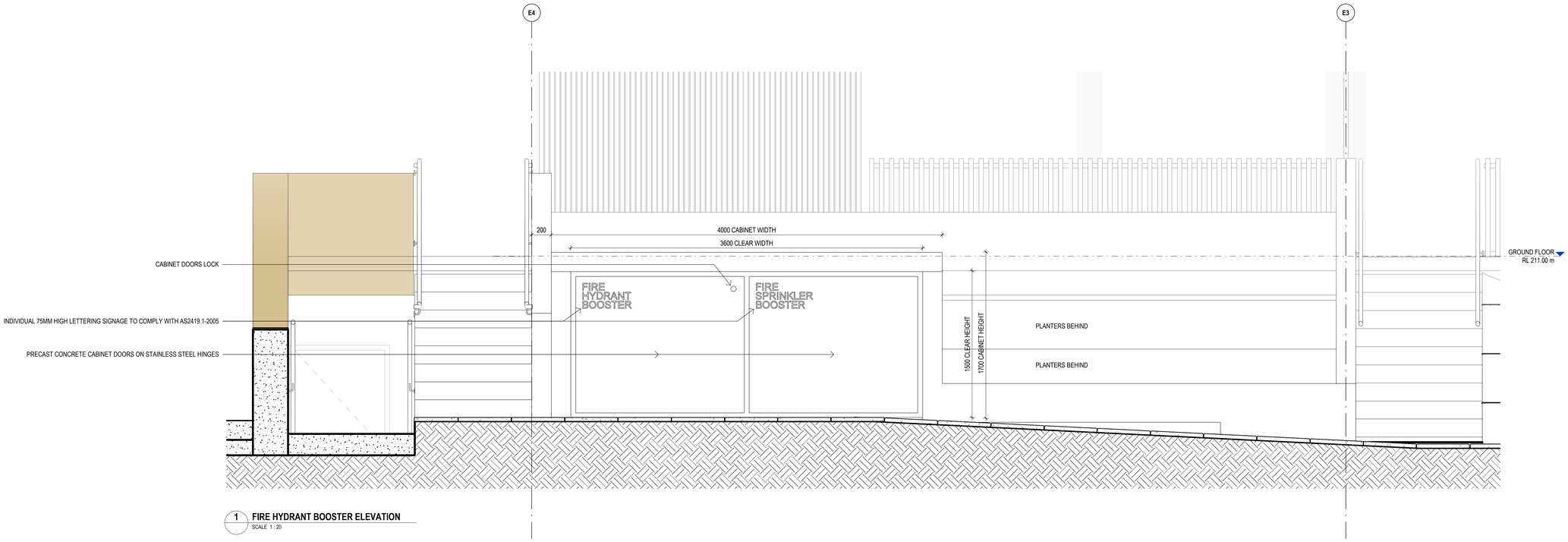
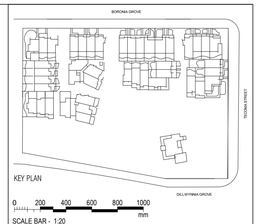


1 **FIRE HYDRANT BOOSTER ELEVATION**
SCALE 1 : 20

NOTE
SERVICES CONSULTANT TO CONFIRM SUITABILITY OF CABINET NOT FULLY WATERPROOF



KEY PLAN

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SCALE BAR - 1:20

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Sandeep Amin 7337 | Ian Armstrong 7260 | Richard Does 8126 | Cathryn Drew-Bredin 7269 | Mary Anne McGirr 10946 |

No	DATE	REVISIONS	BY
A	19/01/2021	ISSUED FOR TENDER ADDENDUM	NU

ARCHITECT

DesignInc

Designinc Sydney Pty Ltd

Level 14, 85 Castlereagh Street
Sydney NSW 2000 Australia
t +61 2 8905 7100
sydney@designinc.com.au

CLIENT

HEATHCOTE GROUNDS PTY LTD
Level 23 Deutsche Bank Place,
126 Philip Street, Sydney NSW 2000

PROJECT

HEATHCOTE GROUNDS

1-21 DILLWYNNIA GROVE,
HEATHCOTE 2233 NSW

TITLE

EXTERNAL DETAILS - HYDRANT BOOSTER

DRAWN BY	NU
SCALES	1 : 20 @B1
PLOT DATE	
PROJECT Nº.	P20-056
DRAWING Nº.	A2051
REVISION	A

DRAWING STATUS	REVIEWED BY	SIGNATURE	DATE
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HEATHCOTE GROUNDS

HISTORIC HEATHCOTE HALL

CIVIL WORKS S4.55 PACKAGE

DRAWING LIST

DRAWING NO.	DRAWING TITLE
C-01-01	DRAWING SCHEDULE, LEGEND AND LOCALITY PLAN
C-01-02	SPECIFICATION NOTES
C-03-01	SITEWORKS AND GRADING PLAN
C-03-11	PAVEMENT PLAN
C-03-51	SITEWORKS DETAILS
C-04-11	TYPICAL SECTIONS
C-04-21	DRIVEWAY LONG SECTIONS - SHEET 01 OF 03
C-04-22	DRIVEWAY LONG SECTIONS - SHEET 02 OF 03
C-04-23	DRIVEWAY LONG SECTIONS - SHEET 03 OF 03
C-05-01	STORMWATER DRAINAGE LAYOUT PLAN
C-05-21	STORMWATER CATCHMENT PLAN
C-05-61	STORMWATER DRAINAGE DETAILS
C-06-01	EROSION AND SEDIMENT CONTROL PLAN
C-06-11	EROSION AND SEDIMENT CONTROL DETAILS

CIVIL LEGEND PROPOSED

- LIMIT OF WORKS
- STORMWATER OVERLAND FLOW PATH
- P56.20 — FINISHED SURFACE LEVEL
- EX56.20 — EXISTING SURFACE LEVEL
- FFL210.00 — FINISHED FLOOR LEVEL
- 56.2 — EXISTING SURFACE CONTOUR
- 56.2 — PROPOSED SURFACE CONTOUR MINOR
- 56.2 — PROPOSED SURFACE CONTOUR MAJOR
- 1 3 4 — BATTER WITH SLOPES 1(VERT): 4(HORIZONTAL) UNO
- SETOUT POINT
- B — BOLLARD
- P5 — STORMWATER DRAINAGE STRUCTURE WITH NUMBER (REFER STORMWATER DRAINAGE STRUCTURES SCHEDULE)
- Ø450 SW SW — STORMWATER DRAINAGE LINE WITH DIAMETER AND FLOW DIRECTION
- SWALE
- CULVERT
- BASEMENT UPPER LEVEL
- BASEMENT LOWER LEVEL
- STRUCTURAL ROOT ZONE
- TREE PROTECTION ZONE

LOCALITY PLAN

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Rev	Revision Description	Date
04	ISSUED FOR TENDER	16.12.20
03	ISSUED FOR TENDER	10.12.20
02	ISSUED FOR TENDER	27.11.20
01	ISSUED FOR INFORMATION	23.11.20

scp engineers and development consultants

L2 Danchen House
507 Kent St Sydney NSW 2000
ABN 80 003 076 024

T (02) 9267 9312
mail@scpconsult.com.au
www.scpconsult.com.au

Client
PARITER PTY LTD

Project
HEATHCOTE GROUNDS MAIN WORKS

Title
DRAWING SCHEDULE, LEGEND AND LOCALITY PLAN

Scale
NOT TO SCALE

Drawn	Checked	Approved
JE	BK	JC

Project Number	Drawing Number	Revision
S201117	C-01-01	04

PLOTTED BY CAD 16/10/2020 5:15:52 PM SCP Consulting, Eta Path: K:\S201117 heathcote grounds\07 civil\BIM\Drawings\01 main works\C-01-00.dwg

SITEWORKS NOTES

1. ORIGIN OF LEVELS :- AUSTRALIAN HEIGHT DATUM (A.H.D.)
2. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK.
3. ALL WORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH THE DETAILS SHOWN ON THE DRAWINGS, THE SPECIFICATIONS AND THE DIRECTIONS OF THE PRINCIPAL'S REPRESENTATIVE.
4. EXISTING SERVICES HAVE BEEN PLOTTED FROM SUPPLIED DATA AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE PRINCIPAL'S REPRESENTATIVE. CLEARANCES SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY.
5. WHERE NEW WORKS ABUT EXISTING THE CONTRACTOR SHALL ENSURE THAT A SMOOTH EVEN PROFILE, FREE FROM ABRUPT CHANGES IS OBTAINED.
6. THE CONTRACTOR SHALL ARRANGE ALL SURVEY SETOUT TO BE CARRIED OUT BY A REGISTERED SURVEYOR.
7. CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER COMMUNICATIONS OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS.
8. ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACKFILLED WITH AN APPROVED NON-NATURAL GRANULAR MATERIAL AND COMPACTED TO 98% STANDARD MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS.1289.5.1.1.
9. ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.
10. ON COMPLETION OF PIPE INSTALLATION ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL, INCLUDING KERBS, FOOTPATHS, CONCRETE AREAS, GRAVEL AND GRASSED AREAS AND ROAD PAVEMENTS.
11. PROVIDE 12mm WIDE EXPANDING CORK JOINTS BETWEEN CONCRETE PAVEMENTS AND ALL BUILDINGS , WALLS, FOOTINGS, COLUMNS, KERBS, DISHDRAINS, GRATED DRAINS, BOLLARD FOOTINGS ETC
12. CONTRACTOR TO OBTAIN ALL AUTHORITY APPROVALS.
13. ALL BATTERS TO BE GRASSED LINED WITH MINIMUM 100 TOPSOIL AND APPROVED COUCH LAID AS TURF.
14. MAKE SMOOTH TRANSITION TO EXISTING SERVICES AND MAKE GOOD.
15. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY DIVERSION DRAINS AND MOUNDS TO ENSURE THAT AT ALL TIMES EXPOSED SURFACES ARE FREE DRAINING AND WHERE NECESSARY EXCAVATE SUMPS AND PROVIDE PUMPING EQUIPMENT TO DRAIN EXPOSED AREAS.
16. ON COMPLETION OF WORKS ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL INCLUDING, BUT NOT LIMITED TO, KERBS, FOOTPATHS, CONCRETE AREAS, GRASS AND LANDSCAPED AREAS.

EXISTING SERVICES AND FEATURES

1. EXISTING SERVICES HAVE BEEN PLOTTED FROM SUPPLIED SURVEY DATA AND AS SUCH THEIR ACCURACY CANNOT BE GUARANTEED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ESTABLISH THE LOCATION AND LEVEL OF ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE SUPERINTENDENT.
2. THE CONTRACTOR SHALL ALLOW FOR THE CAPPING OFF, EXCAVATION, REMOVAL AND DISPOSAL IF REQUIRED OF ALL EXISTING SERVICES IN AREAS AFFECTED BY WORKS WITHIN THE CONTRACT AREA, AS SHOWN ON THE DRAWINGS UNLESS DIRECTED OTHERWISE BY THE SUPERINTENDENT.
3. PRIOR TO COMMENCEMENT OF ANY WORKS THE CONTRACTOR SHALL GAIN WRITTEN APPROVAL OF HIS PROGRAMME FOR THE RELOCATION/CONSTRUCTION OF TEMPORARY SERVICES.
4. EXISTING BUILDINGS, EXTERNAL STRUCTURES, AND TREES SHOWN ON THESE DRAWINGS ARE FEATURES EXISTING PRIOR TO ANY DEMOLITION WORKS.
5. CLEARANCE AND COVER REQUIREMENTS SHALL BE OBTAINED FROM THE RELEVANT SERVICE AUTHORITY BEFORE COMMENCEMENT OF WORKS AND SHALL BE ADHERED TO AT ALL TIMES.
6. CARE IS TO BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATIONS ARE TO BE UNDERTAKEN OVER TELECOM OR ELECTRICAL SERVICES. HAND EXCAVATE IN THESE AREAS ONLY.

EARTHWORKS NOTES

EW1 ALL WORK SHALL COMPLY WITH AS3798 (1996) - GUIDELINES ON EARTHWORKS FOR COMMERCIAL AND RESIDENTIAL DEVELOPMENTS.

EW2 AFTER DEMOLITION STRIP REMAINING TOPSOIL THROUGHOUT TO EXPOSE NATURALLY OCCURRING AND ENGINEERING MATERIAL AND STOCKPILE ON SITE FOR SELECTIVE REUSE OR DISPOSE OFF SITE AS DIRECTED BY THE SUPERINTENDENT.

EW3 EXCAVATE TO SUBGRADE LEVELS, SEGREGATING AND STOCKPILING MATERIALS FOR LATER REUSE FOR SELECTIVE REUSE OR DISPOSE OFF SITE AS DIRECTED BY THE SUPERINTENDENT.

EW4 PROOF ROLL ALL SOFT OR WET AREAS SHALL BE DRIED TO OPTIMUM MOISTURE AND RE-COMPACTED TO 95% MMDD, WHERE MATERIAL IS DEEMED UNSUITABLE BY THE SUPERINTENDENT AND CANNOT BE USED ON SITE SHALL REMOVED FROM SITE.

EW5 ALL FILL MATERIAL SHALL BE FROM A SOURCE APPROVED BY THE SUPERINTENDENT AND SHALL COMPLY WITH THE FOLLOWING -

a) FREE FROM ORGANIC AND PERISHABLE MATTER,
b) MAXIMUM PARTICLE SIZE 75mm,
c) PLASTICITY INDEX - BETWEEN 2% AND 15%.

EW6 ALL FILL MATERIAL SHALL BE PLACED IN MAXIMUM 200mm THICK LAYERS AND COMPACTED AT OPTIMUM MOISTURE CONTENT (+ OR - 2%) TO ACHIEVE A DRY DENSITY DETERMINED IN ACCORDANCE WITH AS1289.5.1.1-2003-METHODS OF TESTING SOILS FOR ENGINEERING PURPOSES OF NOT LESS THAN THE FOLLOWING STANDARD MINIMUM DRY DENSITY -

LOCATION	STANDARD DRY DENSITY
UNDER BUILDING SLABS	98%
VEHICULAR PAVED AREAS	100%
NON-VEHICULAR PAVED AREAS	98%
LANDSCAPED AREAS	95%

EW07 EXISTING SURFACE LEVEL SHOWN DOES NOT INCLUDE STRIPPING.

CONCRETE NOTES

GENERAL

1. ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH AS 3600 CURRENT EDITIONS WITH AMENDMENTS, AND THE ACSE CONCRETE SPECIFICATION EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
2. VERIFY ALL SETTING OUT DIMENSIONS WITH THE SURVEYOR.
3. DO NOT OBTAIN DIMENSIONS BY SCALING THE DRAWINGS.
4. IN CASE OF DOUBT - ASK.

DESIGN LOADS

1. 80KN AXLE LOAD

CONCRETE

1. PLACE CONCRETE OF THE FOLLOWING CHARACTERISTIC COMPRESSIVE STRENGTH F"C AS DEFINED IN AS.3600 OR M.R. FORM 609. ADD WATER REDUCING ADMIXTURE EQUAL TO WRDA.

LOCATION	AS.3600 F'c MPa AT 28 DAYS	SPECIFIED SLUMP	NOMINAL AGG. SIZE
ALL KERB PITS ETC.	25	80	20
VEHICULAR PAVEMENTS	32	80	20

2. USE "A.C.S.E. SPECIFICATION TYPE A" CEMENT.
3. ALL CONCRETE SHALL BE SUBJECT TO PROJECT CONTROL SAMPLE AND TESTING TO AS.3600.
4. CONSOLIDATE BY VIBRATION.

REINFORCEMENT

1. FIX REINFORCEMENT AS SHOWN ON DRAWINGS. THE TYPE AND GRADE IS INDICATED BY A SYMBOL AS SHOWN BELOW. ON THE DRAWING N IS FOLLOWED BY A NUMERAL WHICH INDICATES THE SIZE IN MILLIMETRES. A MARK NUMERAL (IF USED) FOLLOWS THIS NUMERAL.
   N. HOT ROLLED DEFORMED BAR, GRADE 410Y
   S. HOT ROLLED DEFORMED BAR, GRADE 230S
   R. PLAIN ROUND BAR, GRADE 230R
   SL. HARD DRAWN WIRE FABRIC.
2. PROVIDE BAR SUPPORTS OR SPACERS TO GIVE THE FOLLOWING CONCRETE COVER TO ALL REINFORCEMENT UNLESS NOTED OTHERWISE.

   FOOTINGS
   - 75 BOTTOM, 65 TOP AND SIDES SLABS
   - 20 TOP AND BOTTOM, 30 WHEN EXPOSED TO WEATHER.

   BEAMS
   - 50 BOTTOM AND SIDES (TO STIRRIPS) TOP COVER AS DETAILED COLUMNS
   - 40 TO TIES AND SPIRALS 50 WHEN EXPOSED TO WEATHER

   WALLS
   - 25 GENERALLY 30 WHEN CAST IN FORMS BUT LATER EXPOSED TO WEATHER OR GROUND.
   - 65 WHEN CAST DIRECTLY IN CONTACT WITH GROUND.

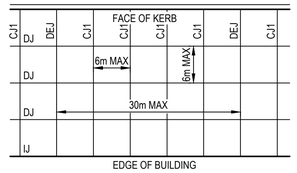
CURING

1. CURE ALL CONCRETE IN ACCORDANCE TO THE METHOD PROVIDED IN THE SPECIFICATION.

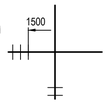
JOINTING NOTES

VEHICULAR PAVEMENT JOINTING

1. ALL VEHICULAR PAVEMENT TO BE JOINTED AS SHOWN ON DRAWINGS.
2. KEYED CONSTRUCTION JOINTS SHOULD GENERALLY BE LOCATED AT A MAXIMUM OF 6m CENTRES.
3. SAWN JOINTS SHOULD GENERALLY BE LOCATED AT A MAXIMUM OF 6m CENTRES OR 1.5 x THE SPACING OF KEYED JOINTS, WHERE KEY JOINT SPACING IS LESS THAN 4m, WITH DOWELLED EXPANSION JOINTS AT MAXIMUM OF 30m CENTRES.
4. PROVIDE 10mm WIDE FULL DEPTH ISOLATION JOINTS BETWEEN BUILDINGS AND ALL CONCRETE OR UNIT PAVERS.
5. VEHICULAR PAVEMENT JOINTING AS FOLLOWS.



6. WHERE DOWELLED JOINTS INTERSECT REMOVE DOWELS FROM LAST 1500mm FROM JOINT IN DIRECTION OF POUR.



SUBSOIL DRAINAGE NOTES

1. DN100 SLOTTED uPVC SUBSOIL DRAINAGE WRAPPED IN GEOFABRIC SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS AND CONNECTED TO THE SITE STORMWATER DRAINAGE SYSTEM (U.N.O):

i) UNDER KERBS ADJACENT TO ALL PAVEMENTS

ii) AT THE BASE OF THE HIGH SIDE OF ALL RETAINING WALLS

COMPACTION NOTES

1. STRIP TOPSOIL TO EXPOSE NATURALLY OCCURRING MATERIAL AND STOCKPILE ON SITE FOR SELECTIVE RE-USE OR DISPOSE OFF-SITE AS DIRECTED BY THE SUPERINTENDENT.
2. WHERE FILLING IS REQUIRED TO ACHIEVE DESIGN SUBGRADE PROOF ROLL EXPOSED NATURAL SURFACE WITH A MINIMUM OF TEN PASSES OF A VIBRATING ROLLER (MINIMUM STATIC WEIGHT OF 10 TONNES) IN THE PRESENCE OF THE SUPERINTENDENT. REFER TO SPECIFICATION FOR DETAILS.
3. ALL SOFT, WET OR UNSUITABLE MATERIAL TO BE REMOVED AS DIRECTED BY THE SUPERINTENDENT AND REPLACED WITH APPROVED MATERIAL SATISFYING THE REQUIREMENTS LISTED BELOW.
4. ALL FILL MATERIAL SHALL BE FROM A SOURCE APPROVED BY THE SUPERINTENDENT AND SHALL COMPLY WITH THE FOLLOWING :
   a. FREE FROM ORGANIC, PERISHABLE AND CONTAMINATED MATTER
   b. MAXIMUM PARTICLE SIZE 75MM
   c. PLASTICITY INDEX BETWEEN 2% AND 15%
5. ALL FILL MATERIAL SHALL BE PLACED IN MAXIMUM 200MM THICK LAYERS AND COMPACTED AT OPTIMUM MOISTURE CONTENT (+ OR - 2%) TO ACHIEVE A DRY DENSITY DETERMINED IN ACCORDANCE WITH AS 1289 E3.1 OF NOT LESS THAN THE FOLLOWING STANDARD MINIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 E1.1 :

LOCATION	STANDARD DRY DENSITY
UNDER BUILDING SLABS	98%
AREAS OF SERVICE TRENCHES	98%
EXTERNAL PAVED AREAS, ROADS AND CARPARKS	98%
LANDSCAPED AREAS	90%

6. THE CONTRACTOR SHALL PROGRAM THE EARTHWORKS OPERATION SO THAT THE WORKING AREAS ARE ADEQUATELY DRAINED DURING THE PERIOD OF CONSTRUCTION. THE SURFACE SHALL BE GRADED AND SEALED OFF TO REMOVE DEPRESSIONS, ROLLER MARKS AND SIMILAR WHICH WOULD ALLOW WATER TO POND AND PENETRATE THE UNDERLYING MATERIAL. ANY DAMAGE RESULTING FROM THE CONTRACTOR NOT OBSERVING THESE REQUIREMENTS SHALL BE RECTIFIED BY THE CONTRACTOR AT THEIR COST.
7. TESTING OF THE SUBGRADE SHALL BE CARRIED OUT BY AN APPROVED NATA REGISTERED LABORATORY AT THE CONTRACTORS EXPENSE.

STORMWATER NOTES

1. ALL Ø300mm to Ø600mm DRAINAGE PIPES SHALL BE CLASS 4 APPROVED SPIGOT AND SOCKET REINFORCED CONCRETE PIPES WITH RUBBER RING JOINTS (UNO). ALL Ø675mm OR LARGER DRAINAGE PIPES SHALL BE CLASS 3 APPROVED SPIGOT AND SOCKET REINFORCED CONCRETE PIPES WITH RUBBER RING JOINTS (UNO).
2. ALL DRAINAGE PIPES LESS THAN OR EQUAL TO Ø225mm SHALL BE uPVC DWV GRADE CLASS SN8 IN ACCORDANCE WITH AS/NZS1260:2009-PVC-U PIPES AND FITTINGS FOR DRAIN, WASTE AND VENT APPLICATION WITH SOLVENT WELDED JOINTS.
3. EQUIVALENT STRENGTH FIBROUS REINFORCED CONCRETE AND/OR VITRIFIED CLAY PIPE MAY BE USED SUBJECT TO APPROVAL BY THE SUPERINTENDENT.
4. PIPES FOR SUB-SOIL DRAINS SHALL BE SLOTTED 100MM DIAMETER CLASS 1000 WRAPPED IN GEOFABRIC, UNO, COMPLYING WITH THE REQUIREMENTS OF AS 2439
5. ALL PIPE JUNCTIONS UP TO AND INCLUDING 450 DIA. AND TAPERS SHALL BE VIA PURPOSE MADE FITTINGS.
6. ALL MILD STEEL FIXTURES INCLUDING GRATES, FRAMES, STEP IRONS, LADDERS, ETC., SHALL BE HOT DIP GALVANISED. GALVANISING SHALL COMPLY WITH THE REQUIREMENTS OF AS 1214 OR AS 1650, AS APPROPRIATE.
7. MINIMUM GRADE TO STORMWATER LINES TO BE 1%. (U.N.O.)
8. CONTRACTOR TO SUPPLY AND INSTALL ALL FITTINGS AND SPECIALS INCLUDING VARIOUS PIPE ADAPTORS TO ENSURE PROPER CONNECTION BETWEEN DISSIMILAR PIPEWORK.
9. ALL CONNECTIONS TO EXISTING DRAINAGE PITS SHALL BE MADE IN A TRADESMAN-LIKE MANNER AND THE INTERNAL WALL OF THE PIT AT THE POINT OF ENTRY SHALL BE CEMENT RENDERED TO ENSURE A SMOOTH FINISH.
10. PRECAST PITS SHALL NOT BE USED UNLESS WRITTEN APPROVAL IS OBTAINED FROM THE SUPERINTENDENT.
11. WHERE TRENCHES ARE IN ROCK, THE PIPE SHALL BE BEDDED ON A MIN. 50MM CONCRETE BED (OR 75MM THICK BED OF 12MM BLUE METAL) UNDER THE BARREL OF THE PIPE. THE PIPE COLLAR AT NO POINT SHALL BEAR ON THE ROCK. IN OTHER THAN ROCK, PIPES SHALL BE LAID ON A 75MM THICK SAND BED. IN ALL CASES BACKFILL THE TRENCH WITH SAND TO 200MM ABOVE THE PIPE. WHERE THE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH WITH SAND OR APPROVED GRANULAR BACKFILL COMPACTED IN 150MM LAYERS TO 98% STANDARD MAX. DRY DENSITY.
12. BEDDING SHALL BE (U.N.O.) TYPE H1, IN ACCORDANCE WITH CURRENT RELEVANT AUSTRALIAN STANDARDS.
13. BACKFILL TRENCH WITH SAND OR APPROVED GRANULAR BACKFILL TO 300mm(MIN) ABOVE THE PIPE. WHERE THE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH TO PAVEMENT SUBGRADE WITH SAND OR APPROVED GRAVEL SUB-BASE COMPACTED IN 150mm LAYERS TO 98% STANDARD MAXIMUM DRY DENSITY. THE CONTRACTOR IS TO ENSURE COMPACTION EQUIPMENT IS APPROPRIATE FOR THE PIPE CLASS USED
14. WHERE STORMWATER LINES PASS UNDER FLOOR SLABS DWV GRADE uPVC RUBBER RING JOINTS ARE TO BE USED (UNO).
15. WHERE SUBSOIL DRAINAGE LINES PASS UNDER FLOOR SLABS AND VEHICULAR PAVEMENTS, UNSLOTTED uPVC DWV GRADE CLASS SN8 PIPE SHALL BE USED.
16. 100mm DIA. SUBSOIL DRAINAGE PIPE 3m LONG WRAPPED IN FILTER SOCK TO BE PROVIDED IN PIPE TRENCHES UPSTREAM OF ALL PITS.
17. CONTRACTOR TO SUPPLY AND INSTALL ALL FITTINGS AND SPECIALS INCLUDING VARIOUS PIPE ADAPTORS TO ENSURE PROPER CONNECTION BETWEEN DISSIMILAR PIPEWORK.
18. PITS DEEPER THAN 1000mm SHALL HAVE ACCESS LADDERS OR STEP IRONS INSTALLED AND SHALL BE IN ACCORDANCE WITH THE LOCAL OR STATUTORY AUTHORITY REQUIREMENTS
19. ALL FRAMES, COVERS AND GRATINGS FOR PITS, SUMPS, DRAINS, GRATED DRAINS ETC MUST BE PROVIDED TO SUIT CLASS D DUTIES AND ALL GRATES SHALL BE SLIP RESISTANT AND HEELGUARD UNO
20. WHERE A PIT IS IDENTIFIED AS A CONFINED SPACE, PIT COVERS SHALL BE PROVIDED WITH STANDARD CONFINED SPACE SIGNAGE
21. SUBSOIL DRAINAGE LINES SHALL BE INSTALLED AT THE BASE OF ALL RETAINING WALLS AND FOR ALL STORMWATER PITS. ALL SUBSOIL LINES SHALL BE CONNECTED TO DRAIN TO THE STORMWATER DRAINAGE SYSTEM
22. CAPPED FLUSHING POINTS MUST BE PROVIDED FOR ALL SUBSOIL AND SEEPAGE DRAINAGE SYSTEMS AT THE END OF EACH PIPE, AT 30M SPACING AND AT CHANGES IN DIRECTIONS
23. INSPECTION OPENINGS AND CLEAROUTS MUST BE PROVIDED AT EVERY JUNCTION, BEND, CHANGE OF DIRECTION AND AT THE BASE OF ALL DOWNPIPES IMMEDIATELY ABOVE WHERE THE DOWNPIPE PENETRATES THE GROUND OR SLAB ON GROUND
24. ALL SUBSOIL PIPES SHALL BE FACTORY SLOTTED HDPE, MINIMUM 100MM DIAMETER SN8 CLASS, SIMILAR OR EQUAL TO VINIDEX DRAINCOIL, CERTIFIED UPVC, IN ACCORDANCE WITH AS1260, AS2032 (PIPE) & AS3789 (JOINTING) INSTALLED ON GEOTEXTILE FABRIC WITH 150MM SURROUND OF 25MM BLUE METAL AGGREGATE. UNO

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Rev	Revision Description	Date
04	ISSUED FOR TENDER	16.12.20
03	ISSUED FOR TENDER	10.12.20
02	ISSUED FOR TENDER	27.11.20
01	ISSUED FOR INFORMATION	23.11.20

scp engineers and development consultants
L2 Danchen House
507 Kent St Sydney NSW 2000
ABN 80 003 076 024
T (02) 9267 9312
mail@scpconsult.com.au
www.scpconsult.com.au

Client
PARITER PTY LTD

Project
HEATHCOTE GROUNDS MAIN WORKS

Title
SPECIFICATION NOTES

Scale
NOT TO SCALE

Drawn	Checked	Approved
JE	BK	JC

Project Number	Drawing Number	Revision
S201117	C-01-02	04

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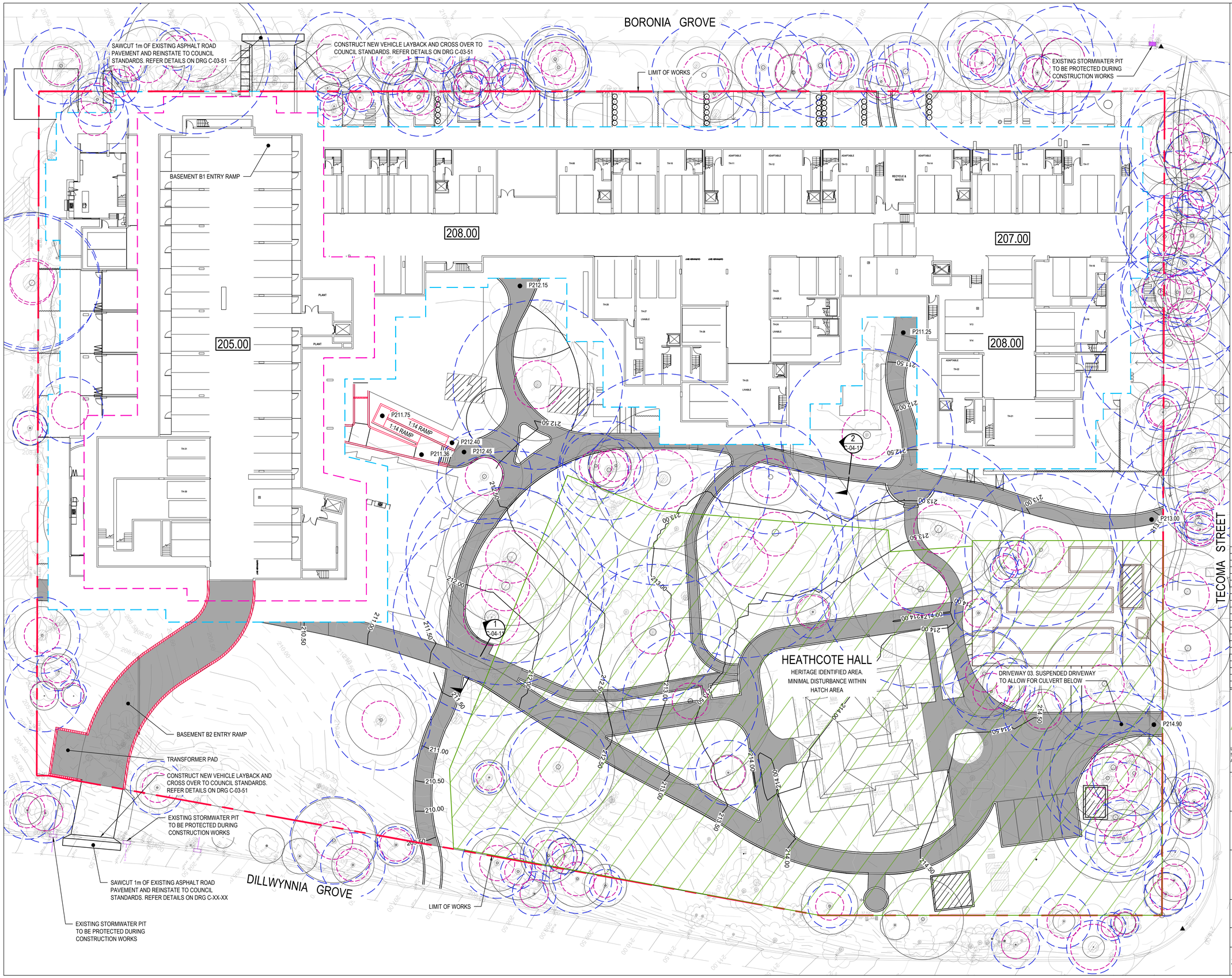

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scp engineers and development consultants
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ABN 80 003 076 024
T (02) 9267 9312
mail@scpconsult.com.au
www.scpconsult.com.au

Client
PARITER PTY LTD

Project
HEATHCOTE GROUNDS MAIN WORKS

Title
SITEWORKS AND GRADING PLAN

Scale
0 5000 12500
1:250 @ A1

Drawn	Checked	Approved
JE	BK	JC

Project Number	Drawing Number	Revision
S201117	C-03-01	04

SCP Consulting, File Path: K:\S201117 Heathcote grounds\07. cad\BIM\Drawings\01 main works\C-03-00.dwg 16/16/2020 - 5:16:09 PM PLOTTED BY CAD

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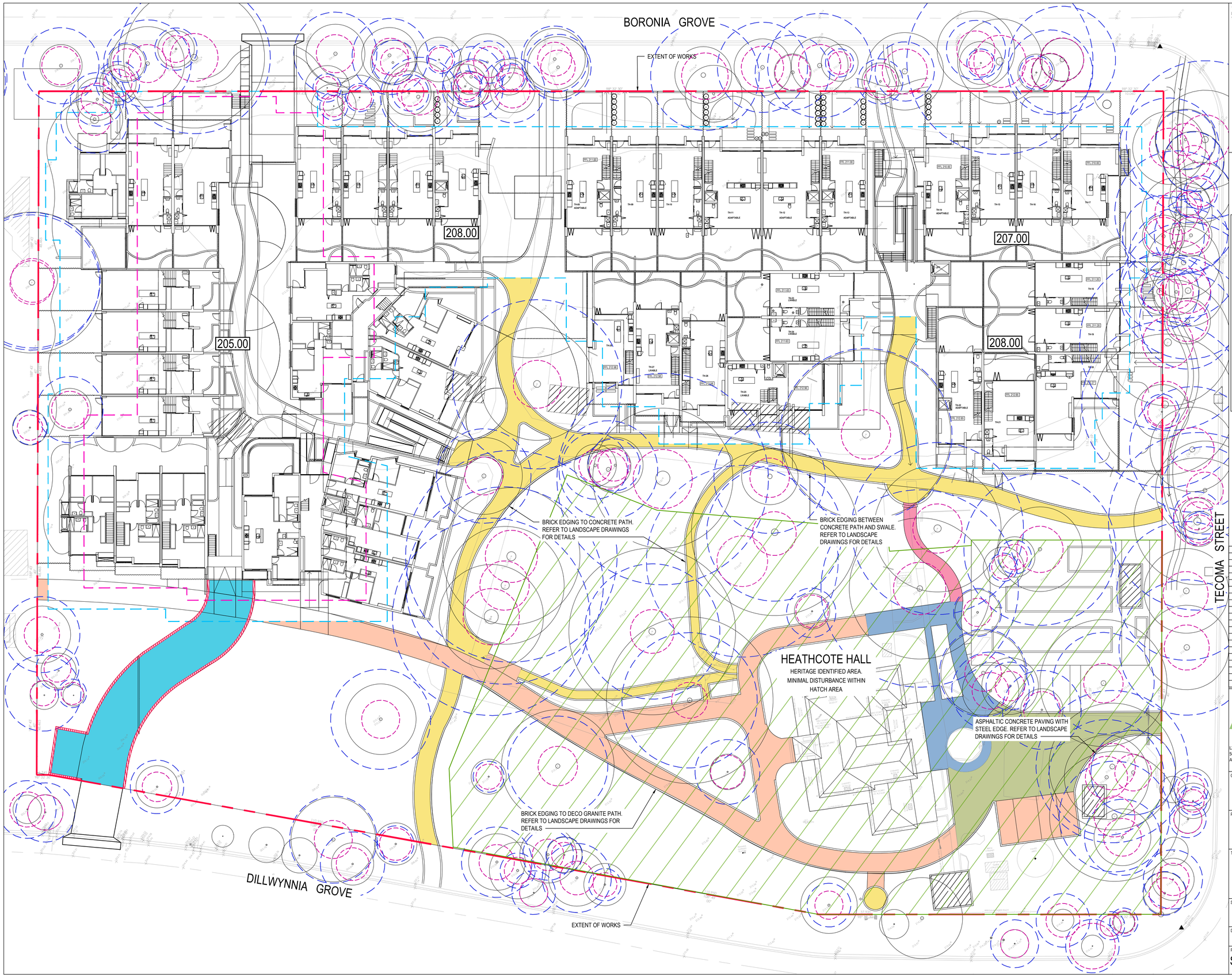

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PAVEMENT LEGEND

	PAVEMENT TYPE 1 CONCRETE PAVEMENT (NON TRAFFICABLE)
	PAVEMENT TYPE 2 CONCRETE PAVEMENT (TRAFFICABLE)
	PAVEMENT TYPE 2A RED BRICK
	PAVEMENT TYPE 3 DECO GRAVEL
	PAVEMENT TYPE 4 MULCH
	PAVEMENT TYPE 6 ASPHALT

Rev	Revision Description	Date
04	ISSUED FOR TENDER	16.12.20
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scp engineers and development consultants
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507 Kent St Sydney NSW 2000
ABN 80 003 076 024
T (02) 9267 9312
mail@scpconsult.com.au
www.scpconsult.com.au

Client
PARITER PTY LTD

Project
HEATHCOTE GROUNDS MAIN WORKS

Title
PAVEMENT PLAN

Scale
0 5000 12500
1:250 @ A1

Drawn	Checked	Approved
JE	BK	JC

Project Number	Drawing Number	Revision
S201117	C-03-11	04

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HEATHCOTE HALL

1-21 Dillwynnia Grove Heathcote NSW

S4.55 DEVELOPMENT APPLICATION

GENERAL NOTES
1. THIS PACKAGE IS TO BE READ IN CONJUNCTION WITH ARCHITECTURE, CIVIL, STRUCTURAL, HYDRAULIC AND SERVICES CONSULTANTS DOCUMENTATION, AND ANY OF THE FOLLOWING REPORTS SPECIFIC TO THIS PROJECT: ACCESS, ARBORIST, BASIX, ELECTRICAL
2. REFER TO ARBORISTS REPORT FOR ALL DETAILED TREE INFORMATION
3. TO BE READ IN CONJUNCTION WITH THE SITE DESIGN DEVELOPMENT APPLICATION DA17/0467

DRAWING LIST

LA-01 - COVER SHEET

LA-02 - SITE CALCULATIONS

LA-03 - LANDSCAPE MASTER PLAN

LA-04 - OVERALL PLAN-LEVELS & GRADING

LA-05 - LANDSCAPE DEVELOPMENT CHANGES

LA-06 - CONCEPT DETAILS

LA-07 - MATERIALS AND FINISHES

LA-08 - TREE REMOVAL AND RETENTION PLAN

LA-09 - EXISTING TREE PROTECTION ZONES

LA-10 - PLANTING AREAS

LA-11 - PLANT SCHEDULE

LA-12 - SECTIONS ONE

LA-13 - SECTIONS TWO

LA-14 - SECTIONS THREE

LA-15 - FENCING

LA-16 - FENCING DETAILS SHEET ONE

LA-17- FENCING DETAILS SHEET TWO

LA-18- FENCING DETAILS SHEET THREE

LA-19- FENCING DETAILS SHEET FOUR

LA-20- FENCING DETAILS SHEET FIVE

LA-21- FENCING DETAILS SHEET SIX

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Nominated Architects
Sandeep Amin 7337 I Ian Armstrong 7260 I Richard Does 8126 | Cathryn Drew-Bredin 7269 | Mary Anne McGirr 10946 |

No	DATE	REVISIONS	BY
A	15/01/2021	S4.55 DEVELOPMENT APPLICATION	MD

METERS 1: 200
0 2 4 10

ARCHITECT

DesignInc

DesignInc Sydney Pty Ltd

Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

CLIENT

PARITER

PROJECT

HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
HEATHCOTE,
SUTHERLAND 2233 NSW

TITLE

LANDSCAPE PACKAGE
COVER SHEET

QUALITY CERTIFIED ISO 9001

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PLOT DATE	20 January 2021		
PROJECT Nº.	P20-056		REVISION A
DRAWING Nº.	LA-01		
DRAWING STATUS	REVIEWED BY	SIGNATURE	DATE
	MD		

S4.55 DEVELOPMENT APPLICATION

COMMUNAL GATED OPEN SPACE
COMMUNAL OPEN SPACE (UNFENCED/UNGATED)
PRIVATE OPEN SPACE

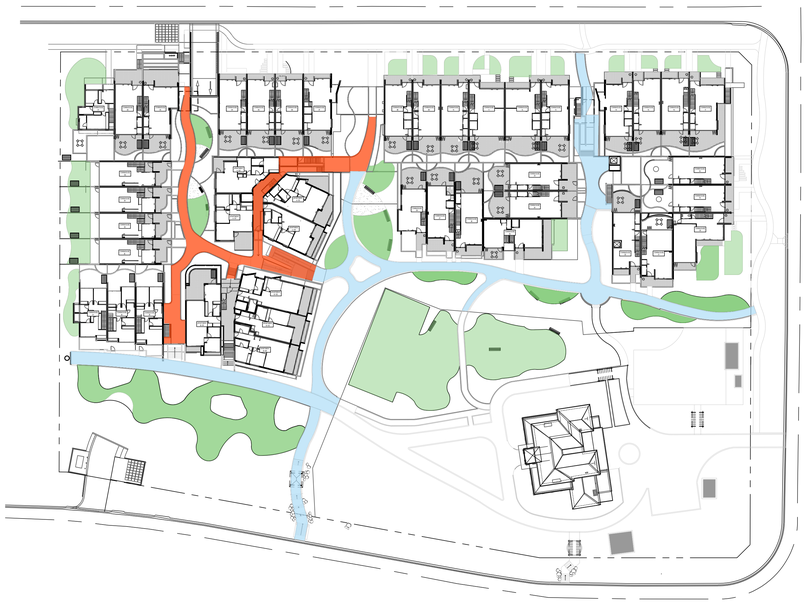
TOTAL SITE AREA
15502 m2

- PRIVATE OPEN SPACE **3812 m2**
- GATED COMMUNAL OPEN SPACE COMPRISING OPEN LAWN, SELECTED SEATING OPTIONS AND BBQ AREAS **964 m2**
- COMMUNAL OPEN SPACE COMPRISING AREAS OF OPEN LAWN, PATHS, REVEGETATION AREA AND GARDENS **4342 m2**
- HARITAGE GARDENS **5092 m2**

NOTE: ALL LANDSCAPED AREAS HAVE BEEN REVISED IN CONJUNCTION WITH REVISED ARCHITECTURAL DESIGN

MAINS WATER REQUIREMENTS

- COMMUNAL OPEN SPACE AREAS AND PRIVATE PLANTER BOXES ON SLAB MUST BE PROVIDED WITH WATER IRRIGATION AND TAPS AT 25m CENTRES, CONNECTED TO A PUMP OR RAINWATER TANK



PATH SYSTEM / COMMUNAL OPEN SPACE

- COMMUNAL SPACE NOT GATED COMPRISING OF OPEN AREAS AND SELECTED SEATING OPTIONS
- GATED COMMUNAL PATH AREAS
- COMMUNAL PATHS OUTSIDE GATED AREA

NOTE: ALL LANDSCAPED AREAS HAVE BEEN REVISED IN CONJUNCTION WITH REVISED ARCHITECTURAL DESIGN

DEEP SOIL GARDEN AREA

- DEEP SOIL GARDEN AREAS **29 %** **4910 m2** (Outside heritage area)
- HERTITAGE LANDSCAPE AREA **23%** **3593 m2**

BASEMENT **51%**

NOTE: ALL LANDSCAPED AREAS HAVE BEEN REVISED IN CONJUNCTION WITH REVISED ARCHITECTURAL DESIGN

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ARCHITECT

DesignInc

DesignInc Sydney Pty Ltd

Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

CLIENT

PARITER

PROJECT

HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
HEATHCOTE,
SUTHERLAND 2233 NSW

TITLE

SITE CALCULATIONS

DRAWN BY	SP
SCALES	1:200 @ A0
PLOT DATE	20 January 2021
PROJECT Nº.	P20-056
REVISION	A
DRAWING Nº.	LA-02

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S4.55 DEVELOPMENT APPLICATION

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NOTE: REFER TO SHEET LA-04 FOR GENERAL LANDSCAPE REVISIONS

LEGEND

- Standard Concrete path
- Deco granite path
- Courtyard paving
- Brick heritage paving
- Asphalt paving
- Mulch heritage path
- Pebble stones
- Sandstone paving
- Granite paving
- Turf
- Mass planting
- Group of Trees
- Entry stairs & sandstone log walls
- Arbour structure
- Courtyard planter

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ARCHITECT

DesignInc

DesignInc Sydney Pty Ltd

Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

CLIENT

PARITER

PROJECT

HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
HEATHCOTE,
SUTHERLAND 2233 NSW

TITLE

LANDSCAPE MASTERPLAN

QUALITY CERTIFIED ISO 9001

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PLOT DATE	20 January 2021		
PROJECT Nº.	P20-056		REVISION A
DRAWING Nº.	LA-03		
DRAWING STATUS	REVIEWED BY	SIGNATURE	DATE
	MD		

S4.55 DEVELOPMENT APPLICATION

NO.	DEVELOPMENT CHANGES
1	ALL LANDSCAPE AREAS SURROUNDING TOWNHOUSES INCLUDING PATHS PLANTERS, RETAINING WALLS AND LEVELS HAVE BEEN REVISED TO ALIGN WITH REVISED ARCHITECTURAL DESIGN.
2	REMOVAL OF STEPS IN HERITAGE PATH IN ACCORDANCE WITH DA CONDITIONS
3	TURF ON PODIUM REPLACED WITH GARDEN OR HARD STAND
4	REVISED STAIRS AND RAMPS TO DDA REQUIREMENTS AND REVISED ARCHITECTURE
5	VEGETABLE GARDENS AND FENCE REVISED TO AVOID EXISTING TREES
6	RAISED PLANTERS REVISED TO TIE IN WITH REVISED ARCHITECTURE DESIGN
7	NEW FHB AND PLANTED TERRACES
8	CONCRETE PAD FOR BIN PICK UP
9	PATH REALIGNED TO AVOID EXISTING TREES

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Nominated Architects
Sandeep Amin 7337 I Ian Armstrong 7260 I Richard Does 8126 | Cathryn Drew-Bredin 7269 | Mary Anne McGirr 10946 |

No	DATE	REVISIONS	BY
A	15/01/2021	S4.55 DEVELOPMENT APPLICATION	MD

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ARCHITECT

DesignInc
DesignInc Sydney Pty Ltd
Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

CLIENT
PARITER

PROJECT
HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
HEATHCOTE,
SUTHERLAND 2233 NSW

TITLE
LANDSCAPE MASTERPLAN

QUALITY CERTIFIED ISO 9001
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REVISION	A
DRAWING Nº.	LA-04

DRAWING STATUS	REVIEWED BY	SIGNATURE	DATE
	MD		

S4.55 DEVELOPMENT APPLICATION

GENERAL NOTE:

1. ALL EXISTING LEVELS EXTERNAL TO THE BUILDINGS TO REMAIN AS EXISTING LEVELS.

REVISION NOTES:

ALL PROPOSED LEVELS WITHIN THE LANDSCAPE HAVE BEEN REVISED TO REFLECT CURRENT ARCHITECTURE DESIGN AND PROPOSED BUILDING LEVELS

LEGEND

+RL	RELATIVE LEVELS
+TOW	TOP OF WALL LEVELS
+FFL	FINISHED LEVEL

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A	15/01/2021	S4.55 DEVELOPMENT APPLICATION	MD

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ARCHITECT

DesignInc

DesignInc Sydney Pty Ltd

Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

CLIENT

PARITER

PROJECT

HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
HEATHCOTE,
SUTHERLAND 2233 NSW

TITLE

PROPOSED LEVELS

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PLOT DATE	20 January 2021
PROJECT Nº.	P20-056
REVISION	A
DRAWING Nº.	LA-05

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S4.55 DEVELOPMENT APPLICATION

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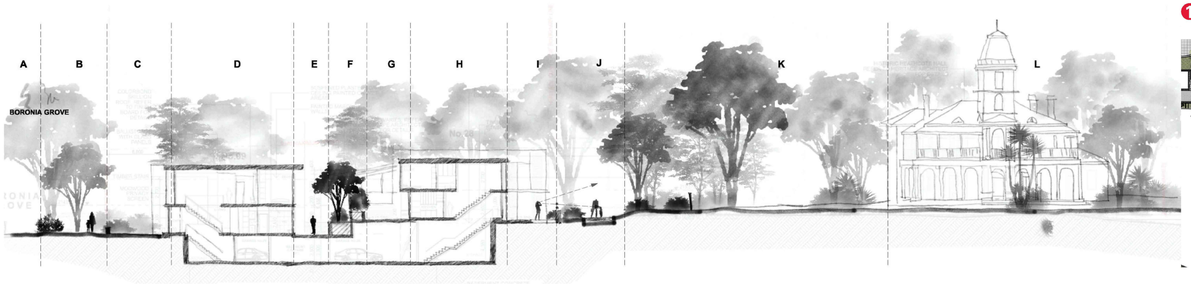


SECTION A

A- Boronia Grove

B - COUNCIL STRIP
Maintain and protect all healthy existing trees and shrubs. Underprune existing Pittosporum. Addition of 1.2m wide footpath to meander around trees(to arborist details). Remove all weed species undergrowth and add areas of turf and indigenovs planting under (where turf will be difficult to maintain)

C - FRONT COURTYARDS
Low impact wall to mark boundary Suggested 300mm high sandstone. On top 900mm high open flat top rail hardwood timber as per CMP recommendations.
No turf suggested. All front setbaeks planted out With a mixture of ground covers, grasses and shrubs with the replanting of appropriate smaller scale small/medium trees. Possible 1 m high slatted hardwood timber screen between each property. Mix planting with boulders for habitat. Possible small decks entry statement to frontages for useable spaces.

D -Proposed residential development with basement parking

E - Podium courtyards

F - Raised planter over podium with min 1m depth of planting for a range of smaller trees and a range of screening shrubs. Suggested a 1800mm highlapped fence between planting and softened by planting between properties.

G - Courtyard in deep soil area for turf and gardens

H - Proposed residential development n:ii basement parking under

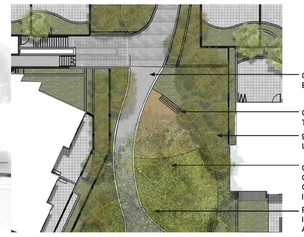
I - Front entry courtyard with rstaining wall and front fence detail (as per detail 2). Planting to soften between communal footpath and courtyards.

J - Front entries to maximise view corridors through to pedestrian pathway sytem by only using lower shrub species and tulf areas

K - Communal footpath linkage with way finding system (paths 1 :20 slopes) Visual access to courtyards and Heathcote hall beyond as recommended by the CMP

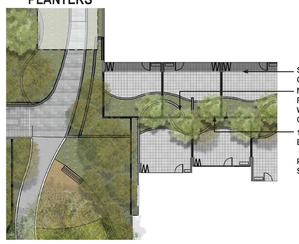
L - Heathcote Hall Gardens as per detailed plans and planting concepts

1 CENTRAL FOOTPATH AND COMMUNAL SPACE



- CONCRETE PATHS WITH BRICK HEADER COURSE
- ORGANIC NATURAL SHAPES TO SOFTEN BUILT FORM
- 90% INDIGENOUS UNDERSTOREY PLANTING
- OPEN LAWN AREAS FOR COMMUNAL USE. NON GATED AREAS TO NOT INCORPORATE BBQ'S
- PROTECT AS MANY TREES IN EXISTING DEEP SOIL AREAS

2 CENTRAL RAISED PODIUM PLANTERS



- SELECTED SLIP RATED TILE ON PODIUM
- MIN 900MM HIGH RETAINING WALL OVER PODIUM TO CREATE PLANTING FOR
- 1800MM METAL FENCE BOARDS WITH 30mm GAPS (NOT LAPPED). POSSIBLE CLIMBERS TO SOFTEN

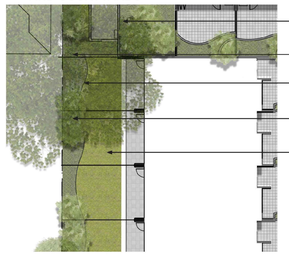
3 GATED COMMUNAL OPEN SPACE AND COURTYARDS

- 600MM HIGH PLANTER BOX AND PRIVACY PLANTING
- 1800mm HIGH TOP OF FENCE 1M SOLID AND 600mm OPEN SLATED
- COMMUNAL OPEN SPACE (GATED) AREA FEATURING CONCRETE SEATING, GARDENS AND PATH ACCESS TO PARKLANDS
- 300mm HIGH RAISED DECKING. AREA FOR COMMUNAL USE
- GRANITE PAVERS ON PODIUM WITH CONCRETE EDGE
- 600mm HIGH PLANTER BOXES FOR SHRUB/SCREEN PLANTINGS TO CREATE LAYERED PLANTING EFFECT

4 FRONT ENTRY GATE

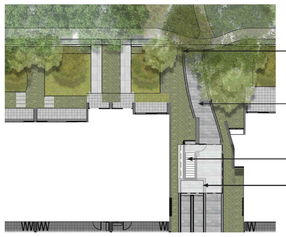
- MIN 600MM HIGH RAISED PLANTER WITH LAYERED PLANTING, STOCK BRICK NO RENDER
- 1800MM VERTICAL METAL BATTEN GATE AND FENCE

5 SIDE SCREEN PLANTING AND COURTYARDS



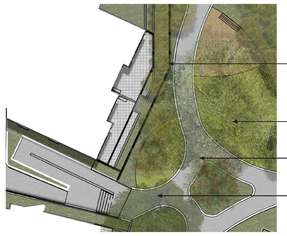
- EXISTING CANOPY TREES OF NEIGHBOURS TO BE RETAINING AND PROTECTED
- RETAIN AND PROTECT AS MANY TREES AS POSSIBLE
- LINK EDGE GARDEN EDGES
- NEW NATIVE GARDENS CONTAINING SHRUBS AND SMALL TREES LARGE TREES
- PRIVATE OPEN SPACE LAWN EXISTING LEVELS RETAINED

6 NORTHERN ENTRY TO COMMUNAL AREA



- CONCRETE BLOCK RAISED PLANTER BED
- CONCRETE PATHS WITH CONCRETE EDGING
- STAIR EXIST FROM BASEMENT
- ARCHITECTURE CANOPY OVER

7 GATED ENTRY TO COMMUNAL AREA



- ENTRY ARBOUR STRUCTURE WITH GATES AND LIGHTING
- 1200MM HIGH VERTICAL METAL BATTEN FENCE WITH PLANTING BOTH SIDES
- OPEN LAWN AREAS FOR COMMUNAL USE
- 2800mm WIDE CONCRETE PATH OPEN TO THE COMMUNITY
- GATED COMMUNITY AREA

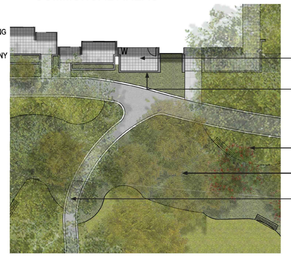
8 INTERPRETATION OF EXISTING DRIVE

- CONCRETE WALKWAY WIDENED TO INTERPRET OLD DRIVE
- EXISTING TURPENTINE TREES TO BE PROTECTED WHICH MARK THE OLD DRIVE LOCATION THROUGH TO BORONIA STREET
- PROPOSED COURTYARDS SEPARATED BY NATIVE PLANTING BEDS AND LINE WITH NEW TREES TO ACCENTUATE OLD DRIVE

9 OLD CARRIAGEWAY INTERPRETATION

- MAINTAIN LINE OF OLD CARRIAGEWAY WITH POSSIBLE MURAL WALL AT NORTH END
- HERITAGE PICKET FENCE
- REPLANTING OF STANDS OF TREES AND INDIGENOUS UNDERSTORY PLANTINGS
- GRANITE PATH 2800mm WIDE
- HERITAGE GARDENS MIXED WITH INDIGENOUS SPECIES
- SANDSTONE LOG WALLS AND ROCK BOUDERS
- POSSIBLE ENTRY ARBOUR WITH INFORMATION ON HEATHCOTE HALL ARBOUR 3 X 3M X 3M HIGH OPEN STRUCTURE ADDED SIGNAGE AND WAY FINDING

10 EAST/ WEST PATH OPEN COMMUNCAL AREAS



- SELECTED TILE ON SLAB
- FRONT FENCE DETAIL AS PER CMP RECOMMENDATIONS (1.2m TOWNHOUSE PICKET FENCE)
- OPEN LAWN COMMUNAL SPACE AREAS
- DEEP SOIL GARDENS
- CONCRETE PATH WITH BRICK HEADER COURSE

IMAGE 1 - LAYERED PLANTING TO CREATE VISUAL INTEREST

IMAGE 3 - USE OF SOFT MATERIALS SUCH AS TIMBER ENTRY GATES . THESE WILL ECHO, BUT NOT COPY THE HERITAGE PICKET GATES

IMAGE 4 - SANDSTOCK BRICK GARDEN WALLS ALONG WITH SANDSTONE SEATING WILL ADD A NATURAL SOFTER ELEMENT TO THE GROUND PLANE. AS WELL AS PAY HOMAGE TO THE PREVIOUS OWNERS ABEL HARBER BRICK MAKER. SOME BRICKS CAN BE MARKED 'AH'

SANDSTONE SEATING TO SOFTEN GROUND PLANE. USED AS INFORMAL SEATING

POSSIBLE USE OF BITUMEN AND STONE OR BRICK EDGE

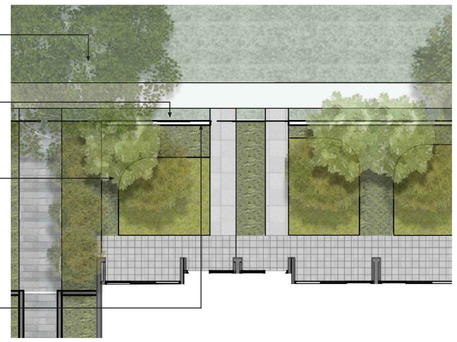
MASS PLANTING TO REDUCE LEVELS OF MAINTENANCE

MEANDERJNG PATHS SURROUNDED BY PLANTING NATIVE S.T.I.F FOREST AND OPEN TURF AREAS

OPEN COMMON SPACE AREAS SURROUNDED BY S.T.I.F NATURAL VEGETATION

BOULDERS AND NATURAL MATERIALS

FRONT GARDEN PLANTED OUT



BORONIA FRONTAGE CONCEPTS

FENCING POLICY RECOMMENDATION
Policy 5.3.30
New fencing may be introduced in conjunction with new development as long as it is appropriate and respectful of the site context of a major 1880s building and its immediate curtilage. Any new fencing around, and within, the Heathcote Hall grounds must be based on historically appropriate types, preferably through using archival images to justify forms, heights and materials. As a guide, a tall (about 1800mm high) lapped (but not capped) timber paling type would be appropriate around the rear/service grounds while a lower (1200mm high) timber picket fence (painted white) is known to have enclosed the front pleasure grounds. A simple timber canted toprail fence (to 1200) around the remaining site boundary would be appropriate.

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No	DATE	REVISIONS	BY
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0 2 4 10

ARCHITECT

DesignInc

DesignInc Sydney Pty Ltd

Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

CLIENT
PARITER

PROJECT
HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
HEATHCOTE,
SUTHERLAND 2233 NSW

TITLE
DETAIL DESIGN CONCEPTS

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S4.55 DEVELOPMENT APPLICATION

REVISION NOTES:

1. PA1 ASPHALT REPLACED WITH CONCRETE OFF PODIUM
2. PA7 ASPHALT REPLACED WITH LARGE FORMAT PAVER ON PODIUM
3. PA7 TIMBER REPLACED WITH SMALL FORMAT PAVER ON FRONT TOWN HOUSE ENTRY

LEGEND

PA1	STANDARD CONCRETE PATH
PA2	RED BRICK HERITAGE PAVING
PA3	DECO GRAVEL
PA4	MULCH HERITAGE PATH
PA5	PEBBLES
PA6	ASPHALT PAVING
PA7	GRANITE PAVER (LARGE FORMAT)
PA7	GRANITE PAVER (SMALLER FORMAT)
PA9	SANDSTONE PAVING
	PATIO/COURTYARD PAVING
	RAISED TIMBER DECK
	TURF
WA1	INSITU CONCRETE WALL 300MM H
WA2	INSITU CONCRETE WALL 600MM H
WA3	INSITU CONCRETE WALL 900-1200MM H
EG1	STEEL EDGING
EG2	BRICK EDGING
EG3	HERITAGE RED ROPE EDGING
SS	SHELTER STRUCTURES
ST	CONCRETE STAIRS
FC1A	1.2M WHITE HERITAGE PICKET FENCE
FC1B	1.8M WHITE HERITAGE PICKET FENCE
FC2	1.2M TOWNHOUSE TIMBER PICKET FENCE
FC3	1.8M COLOURBOND FENCE
FC3A	1.8M EXISTING COLOURBOND FENCE
FC4A	1.8M VERTICAL METAL BATTEN FENCE (50MMX50MM)
FC4B	1.8M VERTICAL METAL BATTEN FENCE (50MMX100MM)
FC4C	1.2M VERTICAL METAL BATTEN FENCE (50MMX50MM)
FC5	1.2M TIMBER BATTEN FENCE
FC6	SANDSTONE LOG WALL
	BENCH SEATING

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ARCHITECT

DesignInc
DesignInc Sydney Pty Ltd
Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

CLIENT
PARITER

PROJECT
HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
HEATHCOTE,
SUTHERLAND 2233 NSW

TITLE
PROPOSED MATERIALS

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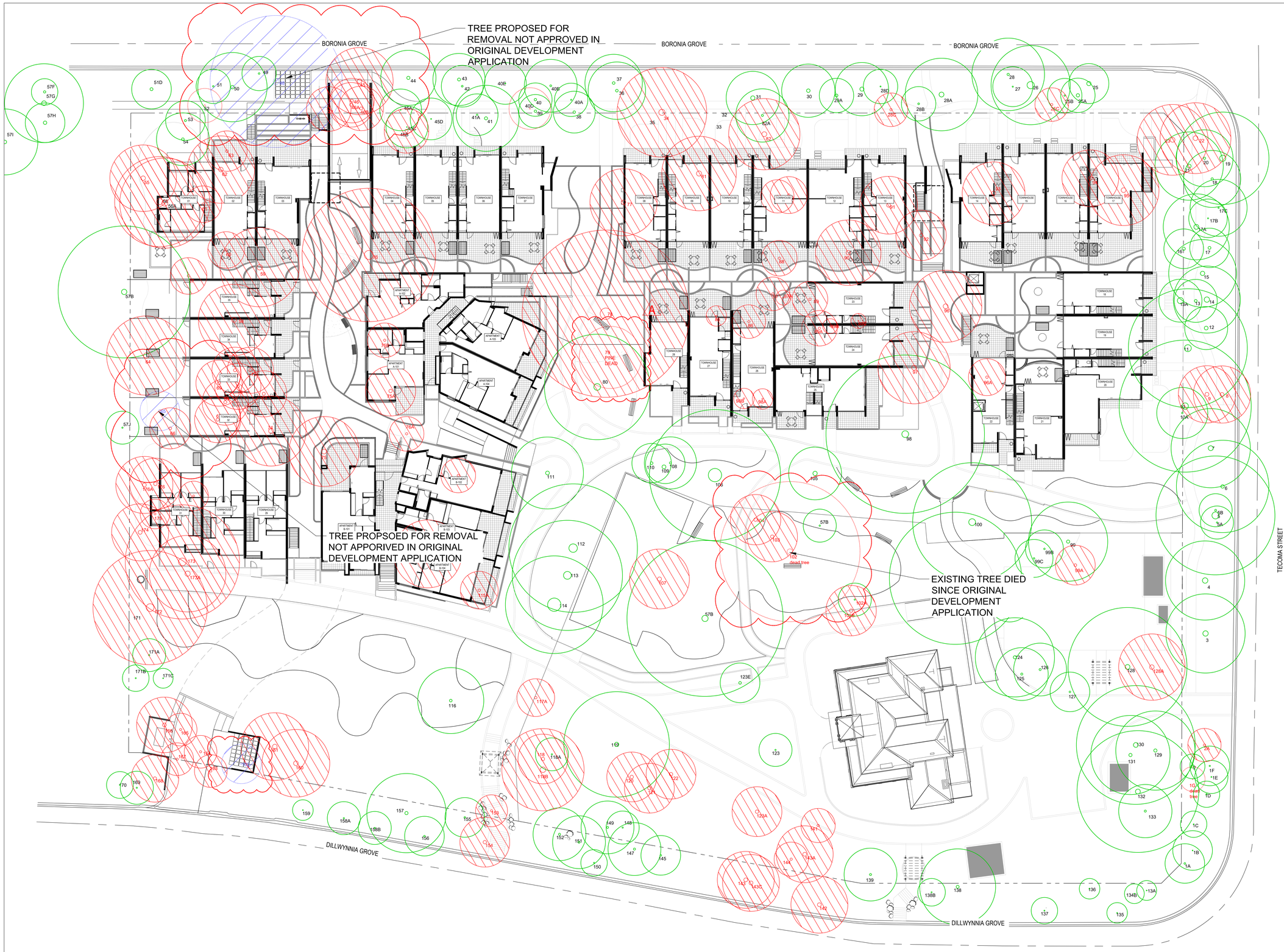
S4.55 DEVELOPMENT APPLICATION



NOTE

1. REFER ARBORIST REPORT FOR DETAILED INFORMATION
2. TREE ZONES BASED ON INFORMATION TAKEN FROM ARBORISTS REPORT BY JACKSONS TREE WORKS

LEGEND

- 29A — EXISTING TREE TO BE RETAINED
- 2A — TREE APPROVED FOR REMOVAL
- DEAD — EXISTING TREE NOW DEAD TOTAL = 2 DEAD
- 2A — TREE PROPOSED FOR REMOVAL *(TREE PROPOSED FOR REMOVAL NOT ALREADY APPROVED FOR REMOVAL ON EXISTING DA)* TOTAL = 3

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ARCHITECT

DesignInc
DesignInc Sydney Pty Ltd
Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+ 61 2 8905 7100
sydney@designinc.com.au

CLIENT
PARITER

PROJECT
HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
HEATHCOTE,
SUTHERLAND 2233 NSW

TITLE
TREES TO BE REMOVED AND RETAINED

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S4.55 DEVELOPMENT APPLICATION

NOTE

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2. TREE ZONES BASED ON INFORMATION TAKEN FROM ARBORISTS REPORT BY JACKSONS TREE WORKS

LEGEND

- TREES TO BE RETAINED
- TPZ (TREE PROTECTION ZONE)
- SRZ (STRUCTURAL ROOT ZONE)

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ARCHITECT

DesignInc

DesignInc Sydney Pty Ltd

Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

CLIENT

PARITER

PROJECT

HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
HEATHCOTE,
SUTHERLAND 2233 NSW

TITLE

TREES TO BE RETAINED WITH TPZ AND SRZ

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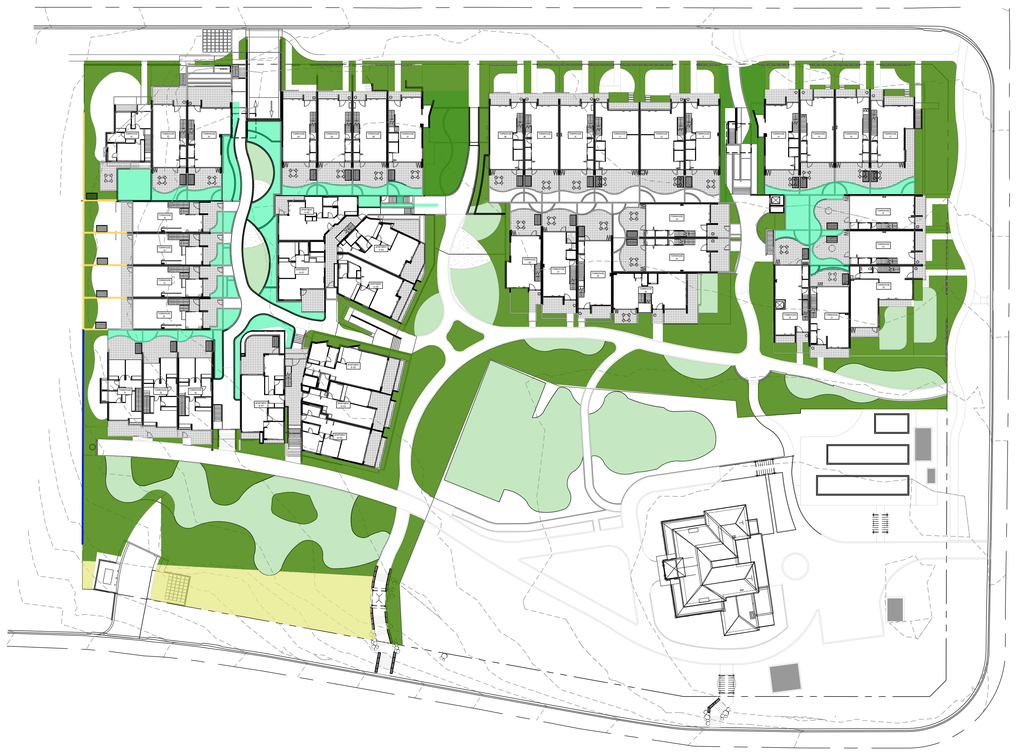

PLANTING AREAS

MASS PLANTING AREA FOR SHRUBS, GRASSES, HERBS AND GROUNDCOVERS (UPTO 2M)
APPROX 2833 m2 INDIGENOUS/STIFF PLANT SPECIES

PODIUM PLANTING RAISED PLANTERS WITH MIXED STIF AND EXOTIC PLANTING (SHRUBS, GROUNDCOVERS,HERBS,GRASSES ,LARGE SHRUBS,SMALL TREES)
990 m2
73 INDIGENOUS SPECIES (SMALLER TREE SIMILAR TO Pittosporum undulatum)

TURF AREAS WITH TREE PLANTING
APPROX 1 INDIGENOUS/STIF TREE/20m2 PLANTED IN TURF
1290 m2
55 INDIGENOUS/STIFF TREES

BUSHFIRE INTERFACE AREA-SPATIAL PLANTING AS PER BUSHFIRE REPORT
315 m2
15 INDIGENOUS/STIFF TREE SPECIES
SHRUBS,GRASSES,HERB,GROUNDCOVERS 1 INDIGENOUS SPECIES/m2 (ALLOWING FOR SEPARATION)
314 INDIGENOUS/STIFF SPECIES

* TREE DENSITY AND NUMBERS TO BE CONFIRMED BY BUSHFIRE CONSULTANT

NOTE: ALL LANDSCAPED AREAS HAVE BEEN REVISED IN CONJUNCTION WITH REVISED ARCHITECTURAL DESIGN

PLANTING AREAS

TREE PLANTING AREAS OUTSIDE OF HERITAGE AND OUTSIDE 3M SETBACK FROM ANY BUILT FORM
APPROX 1 INDIGENOUS/STIFF TREE/m2 (trees rangng in size from small to large canopy trees)
1964 m2
APPROX 368 TREES (CHOSEN FROM COUNCIL NATIVE TREE SELECTOR AND OUTLINED IN THE TABLE ON PAGE L18)

3M BUFFER LINE FROM BUILT FORM

* TREE DENSITY AND NUMBERS TO BE CONFIRMED BY BUSHFIRE CONSULTANT

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Nominated Architects
Sandeep Amin 7337 I Ian Armstrong 7260 I Richard Does 8126 | Cathryn Drew-Bredin 7269 | Mary Anne McGirr 10946 |

No	DATE	REVISIONS	BY
A	15/01/2021	S4.55 DEVELOPMENT APPLICATION	MD

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0 2 4 10

ARCHITECT

DesignInc
DesignInc Sydney Pty Ltd
Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

CLIENT
PARITER

PROJECT
HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
HEATHCOTE,
SUTHERLAND 2233 NSW

TITLE
PLANTING AREAS

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PLOT DATE	20 January 2021
PROJECT Nº.	P20-056
REVISION	A
DRAWING Nº.	LA-10

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S4.55 DEVELOPMENT APPLICATION

PLANT SCHEDULE

CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE HEIGHT	MATURE SPREAD	SPACING	DENSITY	QUANTITY
TREES								
Ang cos	*Angophora costata*	Sydney Red Gum	45L	15m - 20m	6m - 10m	AS SHOWN	AS SHOWN	5
Cer gum	*Ceratopetalum gummiferum*	NSW Christmas Bush	200mm	2m - 4m	1m - 3m	AS SHOWN	AS SHOWN	15
Cit lim	*Citrus limon* 'Eureka"	Eureka Lemon	45L	5-10m	3.5 -6m	AS SHOWN	AS SHOWN	10
Cor gum	*Corymbia gummifera*	Red Bloodwood	45L	15m - 20m	3.5m - 6m	AS SHOWN	AS SHOWN	7
Ela ret	*Elaeocarpus reticulatus*	Blueberry Ash	45L	5m - 10m	2m - 4m	AS SHOWN	AS SHOWN	12
Euc pan	*Eucalyptus paniculata*	Grey Ironbark	45L	10m - 30m	6m	AS SHOWN	AS SHOWN	9
Euc pil	*Eucalyptus pilularis*	Blackbutt	75L	over 30m	6m - 10m	AS SHOWN	AS SHOWN	9
Euc sal	*Eucalyptus salinga*	Sydney Blue Gum	75L	15m - 30m	5m -12m	AS SHOWN	AS SHOWN	10
Glo fer	*Glochidion ferdinandi*	Cheese Tree	45L	5m - 10m	6m - 10m	AS SHOWN	AS SHOWN	8
Lag ind	*Lagerstroemia indica x fauriei* 'Biloxi Indian Summer	Crepe Myrtle	45L	4m	3m	AS SHOWN	AS SHOWN	13
Lep pol	*Leptospermum polygalifolium*	Jelly Bush	200mm	2m	1.5m	AS SHOWN	AS SHOWN	10
Lep tri	*Leptospermum trinervium*	Paperbark Tea Tree	300mm	2m	1m - 2m	AS SHOWN	AS SHOWN	8
Mag exm	*Magnolia grandiflora* 'Exmouth'	Magnolia	45L	5m	4m	AS SHOWN	AS SHOWN	12
Mag gra	*Magnolia grandiflora* 'Teddy Bear'	Magnolia	45L	2-4m	2 - 3.5m	AS SHOWN	AS SHOWN	15
Ole eur	*Olea europaea* 'Manzanillo'	Olive	45L	3m	2m	AS SHOWN	AS SHOWN	10
Pit rev	*Pittosporum revolutum*	Hairy Pittosporum	200mm	1m -2m	1.5m	AS SHOWN	AS SHOWN	8
Pit und	*Pittosporum undulatum*	Sweet Pittosporum/Native Daphne	45L	10m - 15m	1m -3m	AS SHOWN	AS SHOWN	15
Syn glo	*Syncarpia glomulifera*	Turpentine	45L	over 30m	6m -10m	AS SHOWN	AS SHOWN	7
							TOTAL	**183**
PLANT MIX 1: FRONT GARDENS (TOTAL AREA: 479m²)								
Gar aug	*Gardenia augusta* 'Florida'	Gardenia	200mm	1m	1m	AS SHOWN	15% (6/m2)	431
Lom lon	*Lomandra longifolia* 'Sungold'	Mat Rush	150mm	0.6m	0.6m	AS SHOWN	20% (6/m2)	575
Poa lab	*Poa labillardieri* 'Eskdale'	Lion's Tail	150mm	0.6m	0.5m	AS SHOWN	15% (6/m2)	431
Rap ind	*Raphiolepis indica* 'Oriental Pearl'	Inian Hawthorn	200mm	0.45m - 0.6m	1.2m - 2.0m	AS SHOWN	15% (6/m2)	431
Sta byz	*Stachys byzantina*	Lamb's Ear	150mm	0.15m - 0.6m	0.30m - 0.6m	AS SHOWN	15% (6/m2)	431
Wes fru	*Westringia fruticosa*	Coastal Rosemary	200mm	0.6m	0.9m	AS SHOWN	10% (6/m2)	287
Zam fur	*Zamia furfuracea*	Cardboard Plant	150mm	0.5m	0.6m	AS SHOWN	10% (6/m2)	287
							TOTAL	**2873**
PLANT MIX 2: REAR GARDENS (TOTAL AREA: 407m²)								
Cal dub	*Calochlaena dubia*	Flase Bracken Fern	150mm	0.9m - 1.5m	0.3m	AS SHOWN	15% (6/m2)	366
Cra ova	*Crasula ovata* 'Minima'	Mini Jade	150mm	0.3m	0.3m - 0.6m	AS SHOWN	15% (6/m2)	366
Lav sto	*Lavandula stoechas* 'Avon View'	Avon View Lavander	200mm	0.8m	0.6m	AS SHOWN	15% (6/m2)	366
Lom lab	*Lomandra labill* 'Evergreen Baby	Dwarf Mat Rush	150mm	0.40m - 0.45m	0.45m	AS SHOWN	15% (6/m2)	366
San uga	*Sansevieria uganda*	Sansevieria	200mm	0.7m	0.9m	AS SHOWN	10% (6/m2)	244
Sen man	*Senecio mandraliscae*	Blue Chalk Sticks	150mm	0.15m	0.5m	AS SHOWN	10% (6/m2)	244
Sta byz	*Stachys byzantina*	Lamb's Ear	150mm	0.15m - 0.6m	0.30m - 0.6m	AS SHOWN	10% (6/m2)	244
Ste jun	*Strelitzia juncea*	Narrow-Leaf Bird of Paradise	200mm	0.9m - 1.5m	0.9m - 1.2m	AS SHOWN	10% (6/m2)	244
							TOTAL	**2440**
PLANT MIX 3: REAR GARDENS (TOTAL AREA: 75.1m²)								
Acm smi	*Acmena smithii* 'Minor'	Lily Pilly	200mm	2-3m	2m	AS SHOWN	15% (6/m2)	68
Cor alb	*Correa alba*	White Correa	200mm	0.9m - 1.5m	0.9m - 1.2m	AS SHOWN	15% (6/m2)	68
Cra arb	*Crassula arborescens* 'Bluebird'	Blue Bird	150mm	0.3m	0.3m - 0.6m	AS SHOWN	10% (6/m2)	45
Lom fil	*Lomandra filiformis* 'Savanna Blue'	Wattle Mat Rush	150mm	0.5m	0.5m	AS SHOWN	10% (6/m2)	45
Rap ind	*Raphiolepis indica* 'Oriental Pearl'	Inian Hawthorn	200mm	0.45m - 0.6m	1.2m - 2.0m	AS SHOWN	10% (6/m2)	45
Sen man	*Senecio mandraliscae*	Blue Chalk Sticks	150mm	0.15m	0.5m	AS SHOWN	10% (6/m2)	45
Ste reg	*Strelitzia reginae*	Bird of Paradise	200mm	0.9m - 1.5m	0.9m - 1.2m	AS SHOWN	10% (6/m2)	45
Wes fru	*Westringia fruticosa*	Coastal Rosemary	200mm	0.6m	0.9m	AS SHOWN	10% (6/m2)	45
Zam fur	*Zamia furfuracea*	Cardboard Plant	150mm	0.5m	0.6m	AS SHOWN	10% (6/m2)	45
							TOTAL	**451**

PLANT MIX 4: COMMON SPACES (TOTAL AREA: 1033.4m²)								
Cal dub	*Calochlaena dubia*	Flase Bracken Fern	150mm	0.9m - 1.5m	0.3m	AS SHOWN	10% (6/m2)	620
Cor ref	*Correa reflexa*	Native Fuchsia	200mm	0.9m - 1.5m	0.9m - 1.2m	AS SHOWN	10% (6/m2)	620
Cra arb	*Crassula arborescens* 'Bluebird'	Blue Bird	150mm	0.3m	0.3m - 0.6m	AS SHOWN	10% (6/m2)	620
Dia cae	*Dianella caerulea*	Blue Flax Lily	150mm	0.6m - 0.75m	0.6m - 0.9m	AS SHOWN	5% (6/m2)	310
Dic rep	*Dichondra repens*	Kidney Weed	150mm	0.3m	0.9m - 1.2m	AS SHOWN	5% (6/m2)	310
Dil ret	*Dillwynia retorta*	Eggs and Bacon	200mm	1.5m	1m	AS SHOWN	5% (6/m2)	310
Ent mar	*Entolasia marginata*	Sprawling Panic	150mm	0.75m - 0.9m	0.3m	AS SHOWN	5% (6/m2)	310
Gre lin	*Grevillea linearifolia*	Narrow Leaf Grevillea	200mm	1.5m	1.5m	AS SHOWN	5% (6/m2)	310
Hib bra	*Hibbertia bracteata*	Guinea Flower	200mm	1m	1m	AS SHOWN	5% (6/m2)	310
Lam for	*Lambertia formosa*	*Mountain Devil*	200mm	1m - 2m	1m	AS SHOWN	5% (6/m2)	310
Mel thy	*Melaleuca thymifolia*	Thyme Honey Myrtle	200mm	1m	1m	AS SHOWN	5% (6/m2)	310
Pat ser	*patersonia sericea*	Silky Purple Flag	150mm	0.3m - 0.45m	0.3m	AS SHOWN	5% (6/m2)	310
Per pin	*Persoonia pinifolia*	Pine Lead Geebung	200mm	2m - 3m	2m	AS SHOWN	5% (6/m2)	310
Poa lab	*Poa labillardieri* 'Eskdale'	Lion's Tail	150mm	0.6m	0.5m	AS SHOWN	5% (6/m2)	310
The aus	*Themeda australis*	Kanagaroo Grass	150mm	0.9m - 1.5m	0.3m - 0.6m	AS SHOWN	5% (6/m2)	310
Wah com	*Wahlenbergia communis*	Blue Bells	200mm	0.3m	0.2m	AS SHOWN	5% (6/m2)	310
Xan con	*Xanthorrhoea concava*	Grass Tree	150mm	1m	1m	AS SHOWN	5% (6/m2)	310
							TOTAL	**6200**
PLANT MIX 5: BUFFER PLANTING (TOTAL AREA: 2045m²)								
Aca lon	*Acacia longifolia var. longifolia*	Sydney Golden Wattle	200mm	3m - 5m	2m - 3.5m	AS SHOWN	5% (6/m2)	614
Act hel	*Actinotus helianthi*	Flannel Flower	150mm	1m	0.5m	AS SHOWN	5% (6/m2)	614
Act hel	*Actinotus helianthi*	Flannel Flower	150mm	1m	0.5m	AS SHOWN	5% (6/m2)	614
Ari vag	*Aristida vagans*	Threee Awned Spear Grass	150mm	0.3m	0.9m	AS SHOWN	5% (6/m2)	614
Ban spi	*Banksia spinulosa*	Hairpin Banksia	200mm	0.9m - 1.5m	0.9m - 1.5m	AS SHOWN	5% (6/m2)	614
Bur spi	*Bursaria spinosa var. macrophylla*	Sweet Bursaria	200mm	3m -5m	2m - 3.5m	AS SHOWN	5% (6/m2)	614
Cym ref	*Cymbopogon refractus*	Barbed Wire Grass	150mm	0.5m	0.9m	AS SHOWN	5% (6/m2)	614
Dia cae	*Dianella caerulea*	Blue Flax Lily	150mm	0.6m - 0.75m	0.6m - 0.9m	AS SHOWN	5% (6/m2)	614
Gah sie	*Gahnia sieberian*	Red Fruit Saw Edge	150mm	2m	0.8m	AS SHOWN	5% (6/m2)	614
Hib bra	*Hibbertia bracteata*	Guinea Flower	200mm	1m	1m	AS SHOWN	5% (6/m2)	614
Hib emp	*Hibbertia empetrifolia*	Trailing Guinea Flower	200mm	0.3m	0.6m	AS SHOWN	5% (6/m2)	614
Imp cyl	*Impertata cylindrica*	Blady Grass	150mm	0.3m - 0.45m	0.3m	AS SHOWN	5% (6/m2)	614
Lom lon	*Lomandra longifolia*	Mat Rush	150mm	0.75m - 0.9m	0.9m - 1.2m	AS SHOWN	5% (6/m2)	614
Lom mul	*Lomandra multiflora*	Many-Flowered Mat Rush	150mm	0.3m - 0.45m	0.3m	AS SHOWN	5% (6/m2)	614
Mel thy	*Melaleuca thymifolia*	Thyme Honey Myrtle	200mm	1m	1m	AS SHOWN	5% (6/m2)	614
Mic sti	*Microlaena stipoidea*	Weeping grass	150mm	0.6m - 0.75m	0.6m - 0.9m	AS SHOWN	5% (6/m2)	614
Not Lon	*Notelaea longifolia*	Mock Olive	200mm	1.5m - 2m	1m -1.5m	AS SHOWN	5% (6/m2)	614
Ole mic	*Olearia microphylla*	Small Leaf Daisy Bush	200mm	1m - 2m	1.5m	AS SHOWN	5% (6/m2)	614
Pat ser	*patersonia sericea*	Silky Purple Flag	150mm	0.3m - 0.45m	0.3m	AS SHOWN	5% (6/m2)	614
The aus	*Themeda australis*	Kanagaroo Grass	150mm	0.9m - 1.5m	0.3m - 0.6m	AS SHOWN	5% (6/m2)	614
							TOTAL	**12280**

REFER TO SECTION 60 APPLICATION

CODE	BOTANICAL NAME	COMMON NAME	POT SIZE	MATURE HEIGHT	MATURE SPREAD	SPACING	DENSITY	QUANTITY
PENTHOUSE SUITS								
Kal org	*Kalanchoe orgyalis* 'Coppr Spoon'	Copper Spoons	150mm	1.8m	0.8m - 1m	AS SHOWN	AS SHOWN	42
Bou Bam	*Bougainvillea* 'Bambino Zuki'	Bougainvillea	200mm	0.9m	0.9m	AS SHOWN	AS SHOWN	63
Con sab	*Convolvulus sabatius*	Blue Rock Bindweed	150mm	0.1m - 0.2m	0.45m - 0.6m	AS SHOWN	AS SHOWN	61
Lir mus	*Liriope muscari* 'Samantha'	Liriope	150mm	0.45m	0.5m	AS SHOWN	AS SHOWN	47
Asp den	*Asparagus densiflorus* 'Myersii'	Myers Fern	200mm	0.6m - 0.8m	1m	AS SHOWN	AS SHOWN	42
Kal bra	*Kalanchoe brachteata* 'Silver Teaspoons'	Silver Teaspoons	200mm	1.2m	0.9m	AS SHOWN	AS SHOWN	63
Sed mor	*Sedum morganianum* 'Donkey Tail'	Donkey Tail	150mm	0.2m	1.2m	AS SHOWN	AS SHOWN	61
Rap ind	*Raphiolepis indica* 'Oriental Pearl'	Inian Hawthorn	200mm	0.45m - 0.6m	1.2m - 2.0m	AS SHOWN	AS SHOWN	7
Rha exc	*Rhapis excelsa* 'Lady Palm'	Lady's Palm	200mm	4m	1.5m	AS SHOWN	AS SHOWN	8

NOTE: PLANT SCHEDULE UPDATED IN ACCORDANCE WITH DEVELOPMENT APPLICATION CONDITIONS AND CHANGES REFLECTED IN THE LANDSCAPE DESIGN

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METERS 1: 200

0 2 4 10

ARCHITECT

DesignInc

DesignInc Sydney Pty Ltd

Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

CLIENT

PARITER

PROJECT

HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
HEATHCOTE,
SUTHERLAND 2233 NSW

TITLE

PLANT SCHEDULE

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PLOT DATE	20 January 2021
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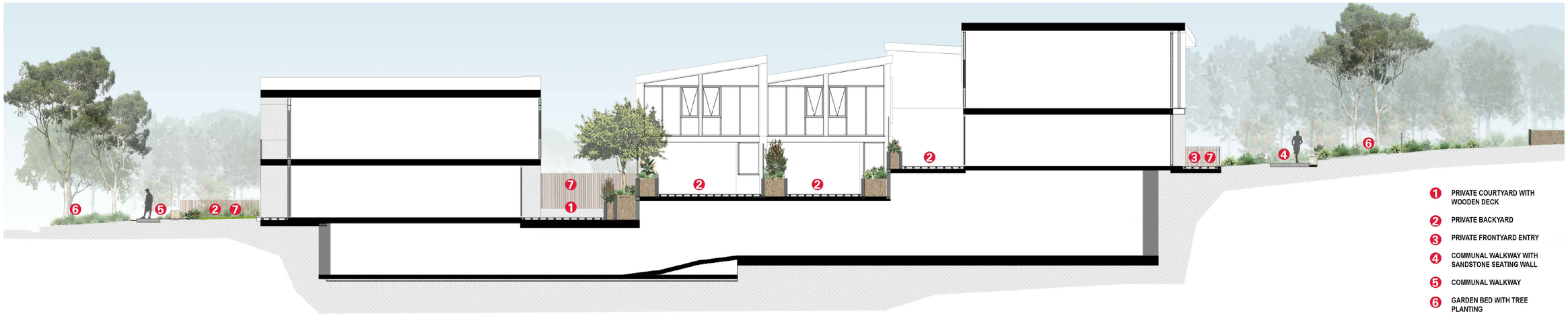
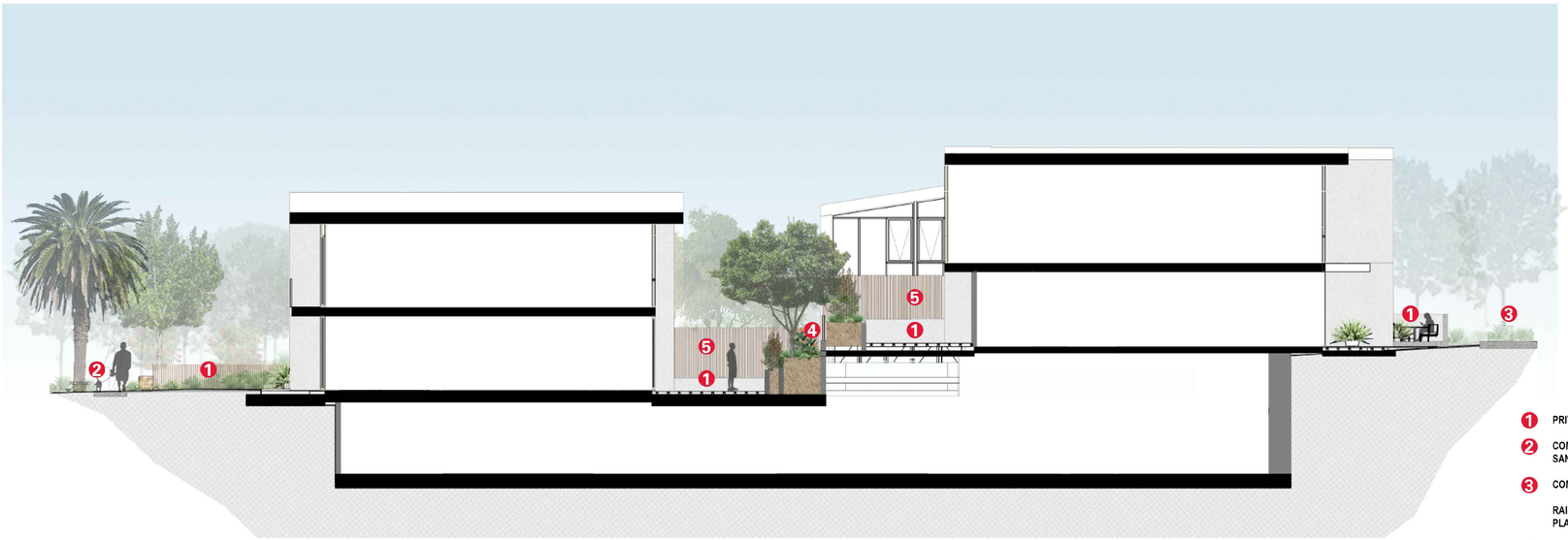


1 PRIVATE COURTYARD WITH WOODEN DECK
2 PRIVATE BACKYARD
3 PRIVATE FRONTYARD ENTRY
4 COMMUNAL WALKWAY WITH SANDSTONE SEATING WALL
5 COMMUNAL WALKWAY
6 GARDEN BED WITH TREE PLANTING
7 TIMBER PRIVACY SCREEN

A SECTION A
NOT TO SCALE



1 PRIVATE BACKYARD
2 COMMUNAL WALKWAY WITH SANDSTONE SEATING WALL
3 COMMUNAL WALKWAY
RAISED GARDEN WITH TREE PLANTING
5 TIMBER PRIVACY FENCE

B SECTION B
NOT TO SCALE

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METERS 1:200
0 2 4 10

ARCHITECT
DesignInc
DesignInc Sydney Pty Ltd
Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

CLIENT
PARITER

PROJECT
HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
HEATHCOTE,
SUTHERLAND 2233 NSW

TITLE
LANDSCAPE SECTIONS

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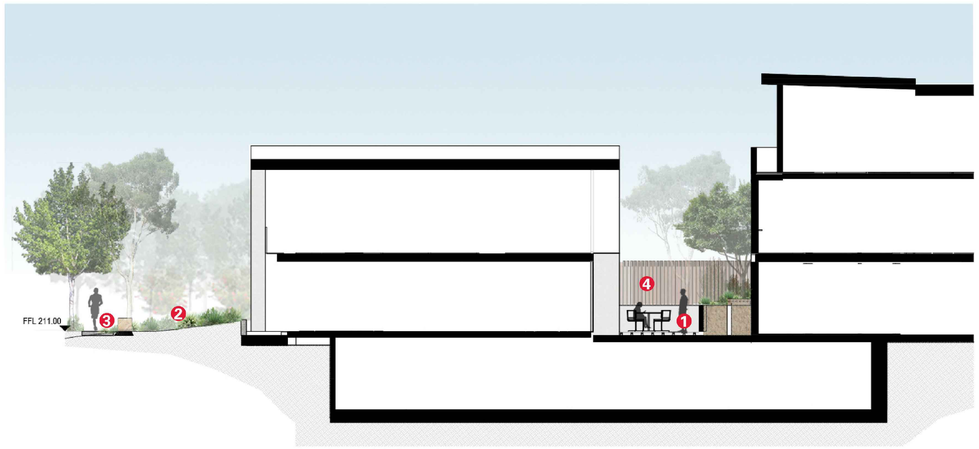
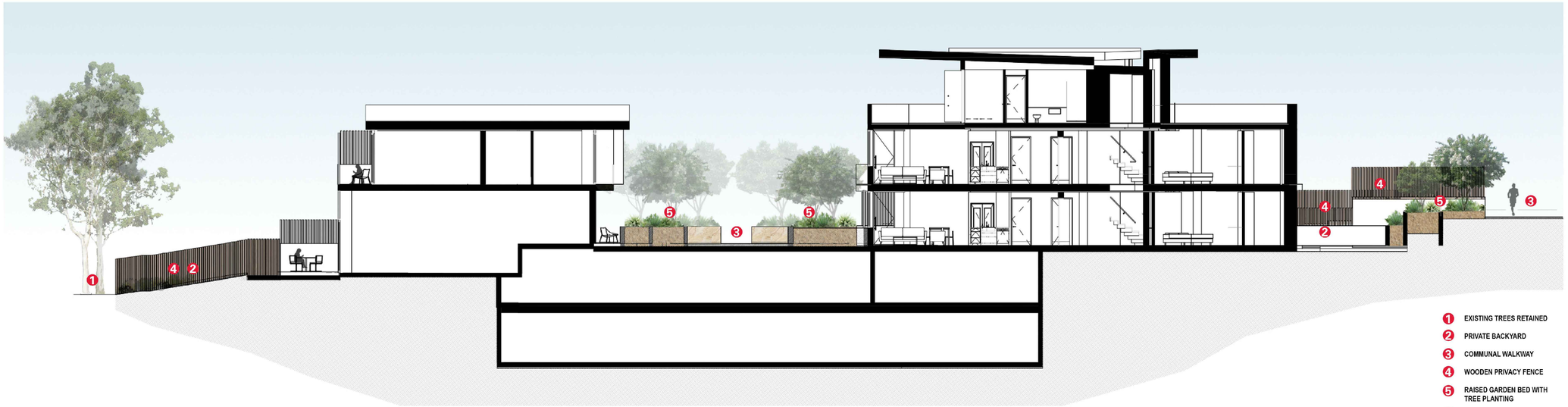
S4.55 DEVELOPMENT APPLICATION



1 PRIVATE COURTYARD
2 BACKYARD
3 COMMUNAL WALKWAY WITH SANDSTONE SEATING WALL
4 WOODEN PRIVACY FENCE
5 RAISED GARDEN BED WITH TREE PLANTING
6 EXISTING TREES RETAINED

C SECTION C
NOT TO SCALE



1 EXISTING TREES RETAINED
2 PRIVATE BACKYARD
3 COMMUNAL WALKWAY
4 WOODEN PRIVACY FENCE
5 RAISED GARDEN BED WITH TREE PLANTING
6 EXISTING TREES RETAINED

D SECTION D
NOT TO SCALE

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0 2 4 10

ARCHITECT
DesignInc
DesignInc Sydney Pty Ltd
Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

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LANDSCAPE SECTIONS

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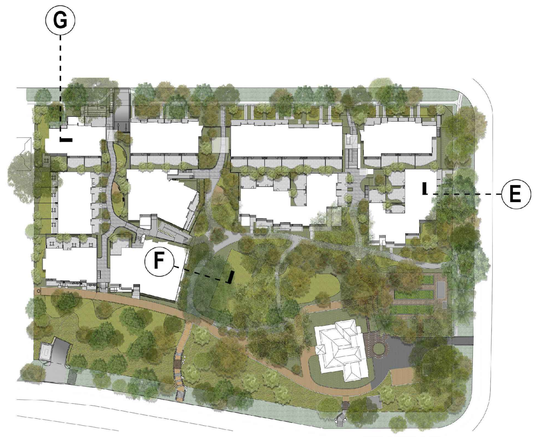
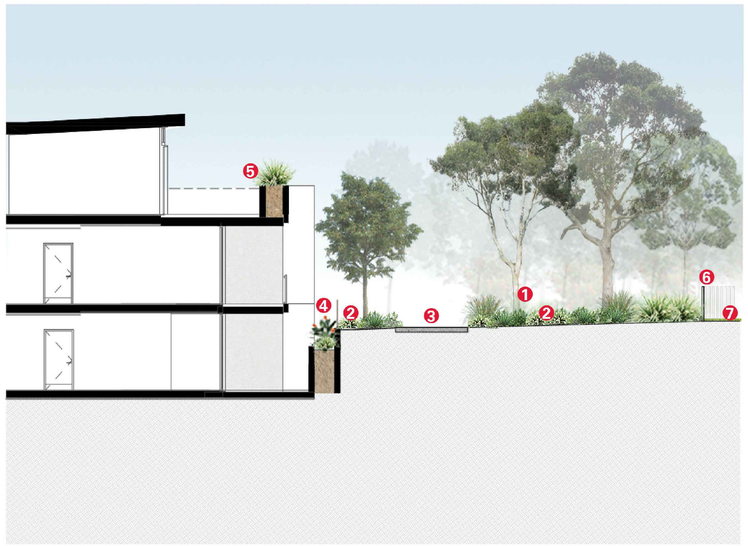
PLOT DATE	20 January 2021		
PROJECT Nº.	P20-056		REVISION A
DRAWING Nº.	LA-13		
DRAWING STATUS	REVIEWED BY	SIGNATURE	DATE
	MD		

S4.55 DEVELOPMENT APPLICATION

1. EXISTING TREES RETAINED
2. PRIVATE FRONTYARD ENTRY
3. COMMUNAL WALKWAY
4. WOODEN PRIVACY FENCE
5. EXISTING VEGETATION
6. TECOMA STREET

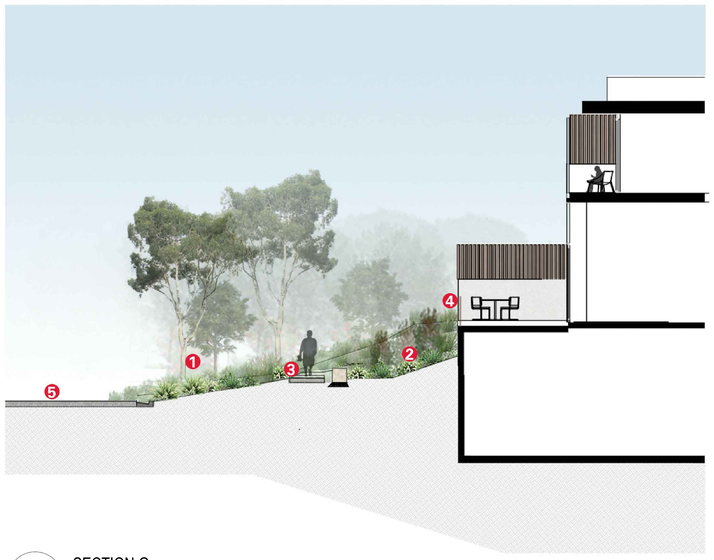
E SECTION E
NOT TO SCALE





1. EXISTING TREES RETAINED
2. PROPOSED VEGETATION
3. COMMUNAL WALKWAY
4. RAISED GARDEN BED WITH RETAINING WALL
5. PLANTERBOX
6. HERITAGE PICKET FENCE
7. GRASSED AREA (HERITAGE)

F SECTION F
NOT TO SCALE



1. EXISTING TREES RETAINED
2. PRIVATE FRONTYARD
3. COMMUNAL WALKWAY
4. WOODEN PRIVACY FENCE
5. BORONIA GROVE STREET

G SECTION G
NOT TO SCALE

NOTE: ALL LANDSCAPED AREAS HAVE BEEN REVISED IN CONJUNCTION WITH REVISED ARCHITECTURAL DESIGN

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Nominated Architects
Sandeep Amin 7337 | Ian Armstrong 7260 | Richard Does 8126 | Cathryn Drew-Bredin 7269 | Mary Anne McGirr 10946 |

No	DATE	REVISIONS	BY
A	15/01/2021	S4.55 DEVELOPMENT APPLICATION	MD

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ARCHITECT

DesignInc

DesignInc Sydney Pty Ltd

Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

CLIENT

PARITER

PROJECT

HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
HEATHCOTE,
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TITLE

LANDSCAPE SECTIONS

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ARCHITECT

DesignInc

DesignInc Sydney Pty Ltd

Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

CLIENT
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PROJECT
HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
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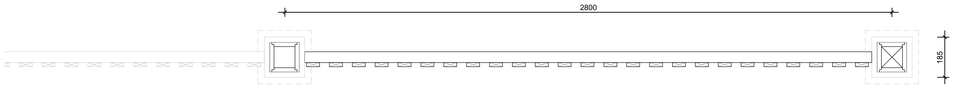
S4.55 DEVELOPMENT APPLICATION



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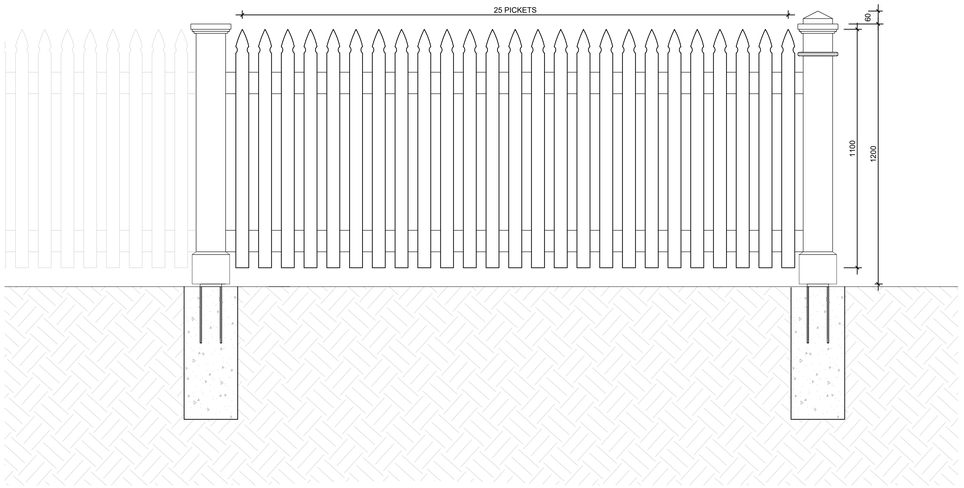

02 FC1A FENCE ELEVATION
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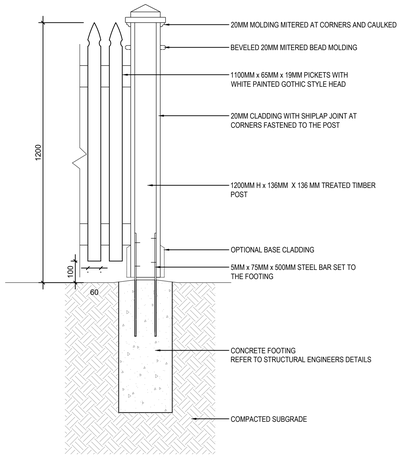

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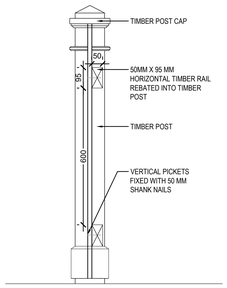

04 FC1A FENCE FIXING DETAILS
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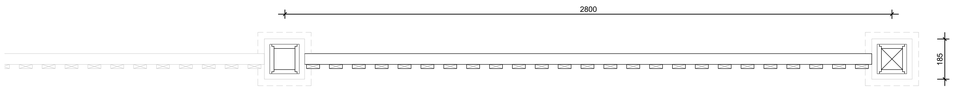

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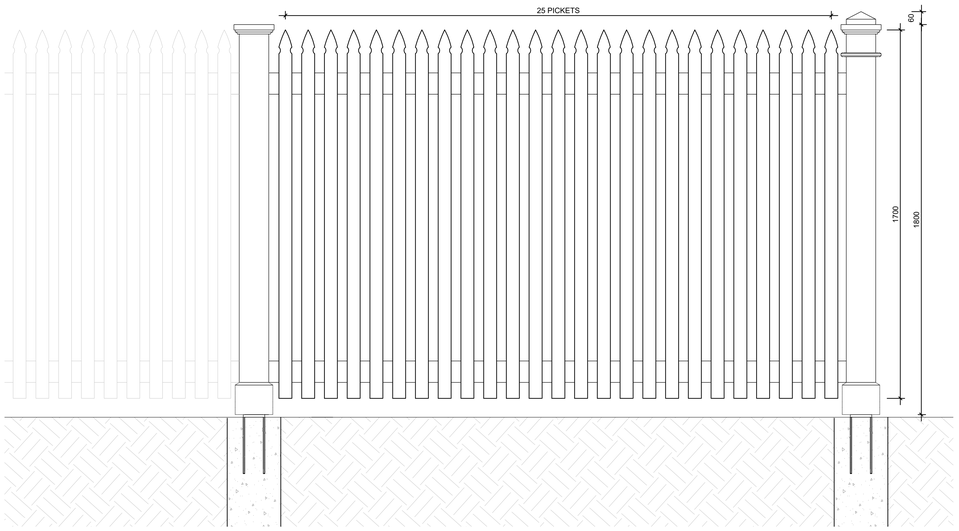

06 FC1B FENCE ELEVATION
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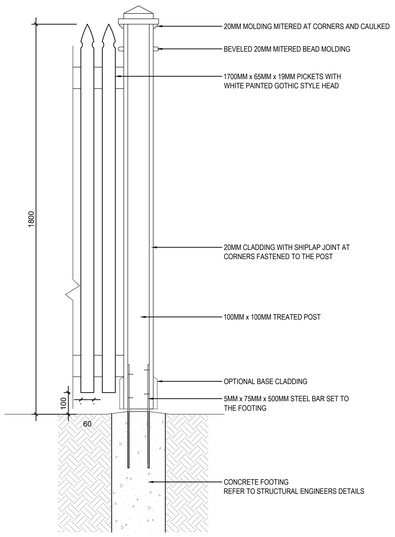

07 FC1B FENCE SECTION
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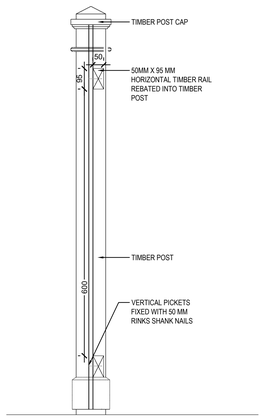

08 FC1B FENCE FIXING DETAILS
1:10

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A	15/01/2021	S4.55 DEVELOPMENT APPLICATION	MD

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ARCHITECT

DesignInc
DesignInc Sydney Pty Ltd
Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+ 61 2 8905 7100
sydney@designinc.com.au

CLIENT
PARITER

PROJECT
HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
HEATHCOTE,
SUTHERLAND 2233 NSW

TITLE
FENCING DETAILS
SHEET ONE

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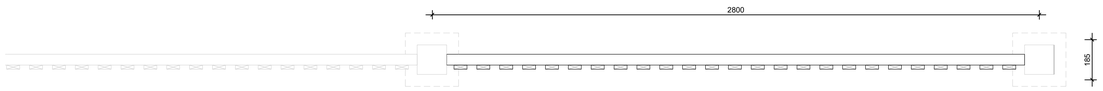
DRAWING Nº.	LA-15
DRAWING STATUS	S4.55 DEVELOPMENT APPLICATION
REVIEWED BY	MD
SIGNATURE	
DATE	



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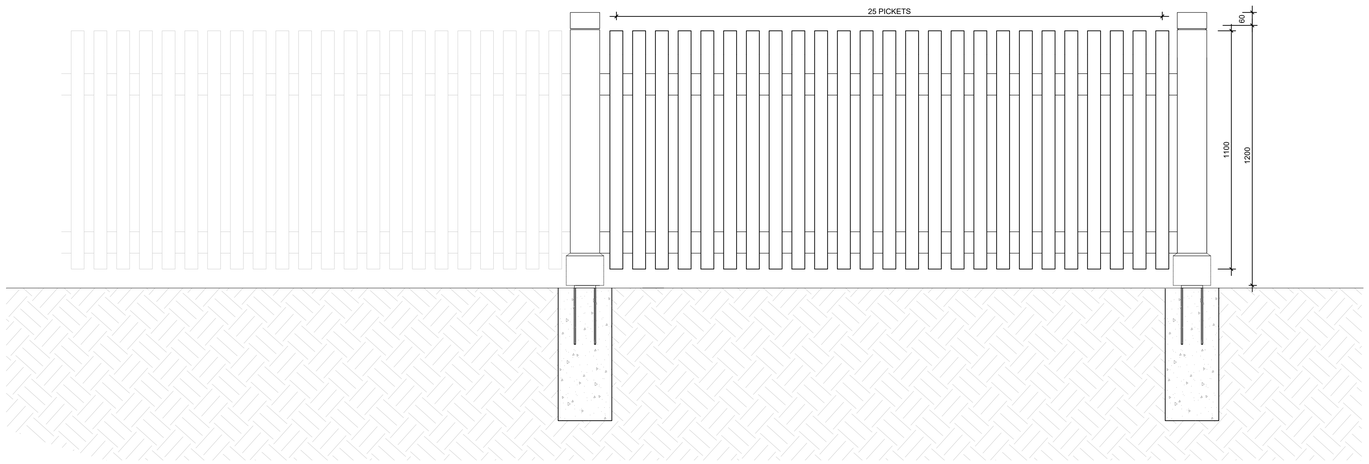

02 FC2 FENCE ELEVATION
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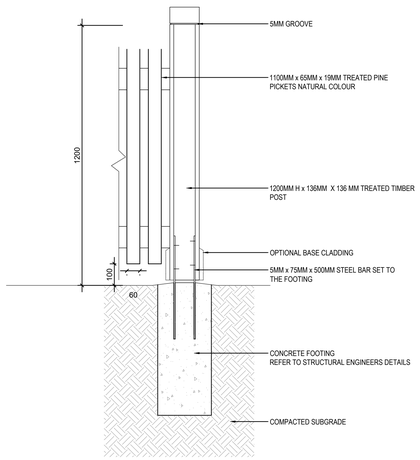

03 FC2 FENCE SECTION
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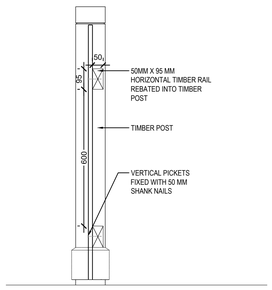

04 FC2 FENCE JOINERY DETAIL
1:10

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ARCHITECT

DesignInc
DesignInc Sydney Pty Ltd
Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

CLIENT
PARITER

PROJECT
HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
HEATHCOTE,
SUTHERLAND 2233 NSW

TITLE
FENCING DETAILS
SHEET TWO

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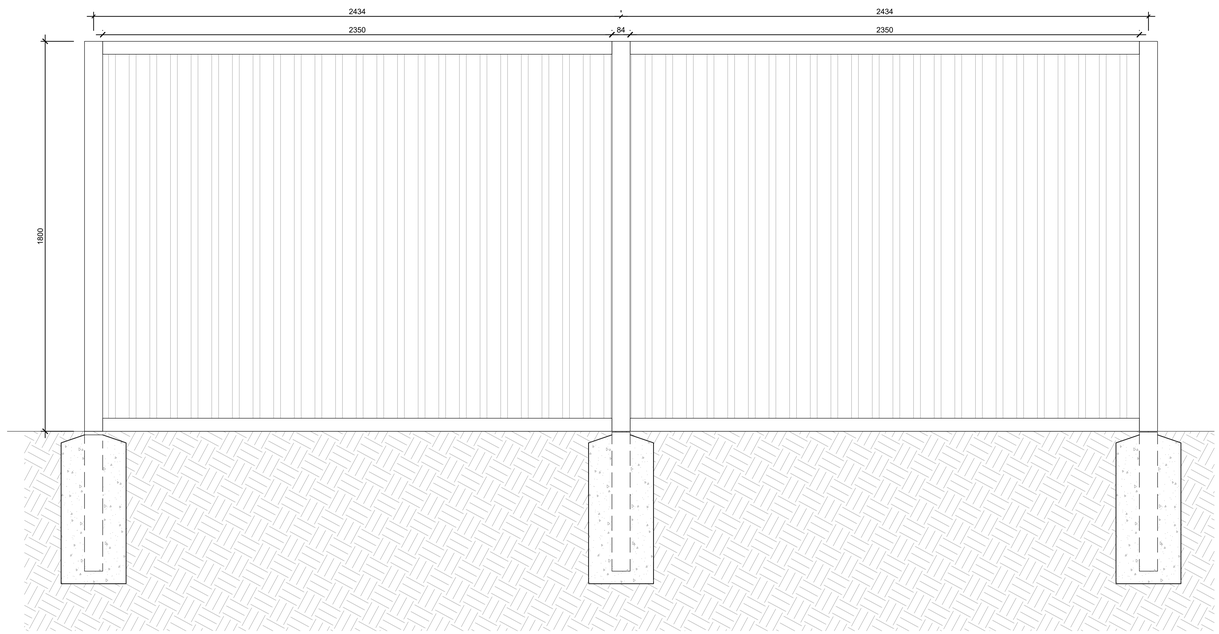
S4.55 DEVELOPMENT APPLICATION



01 FC3 FENCE ELEVATION
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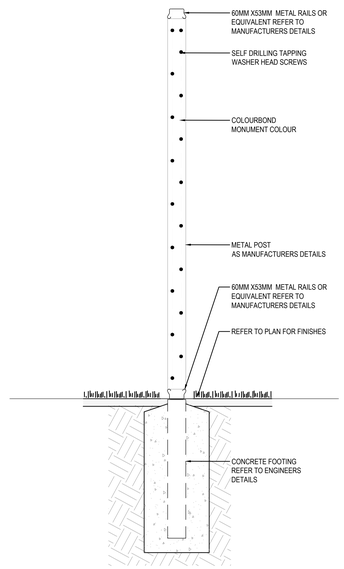

GENERAL NOTES:

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02 FC3 FENCE SECTION
1:10

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ARCHITECT

DesignInc

DesignInc Sydney Pty Ltd

Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

CLIENT

PARITER

PROJECT

HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
HEATHCOTE,
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FENCING DETAILS
SHEET THREE

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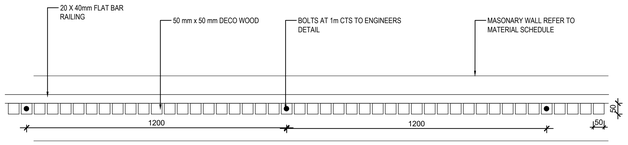
S4.55 DEVELOPMENT APPLICATION



01 FC4 FENCE PLAN
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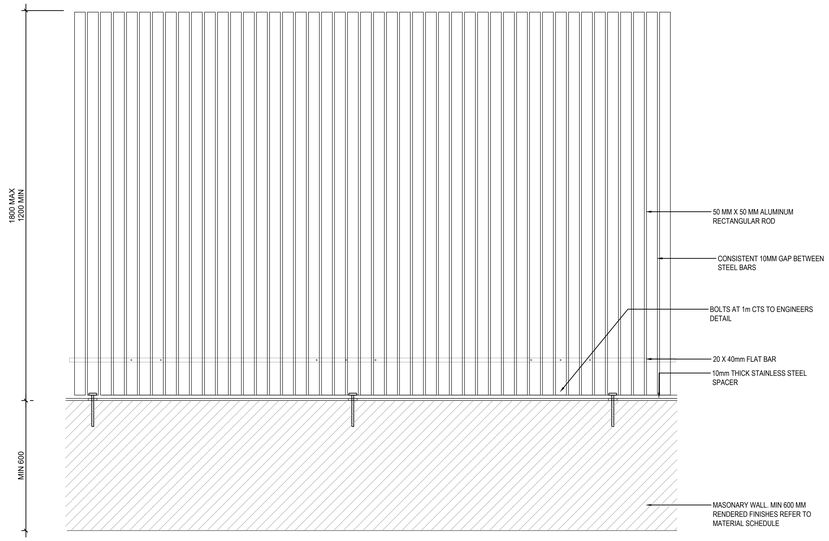

02 FC4 FENCE ELEVATION
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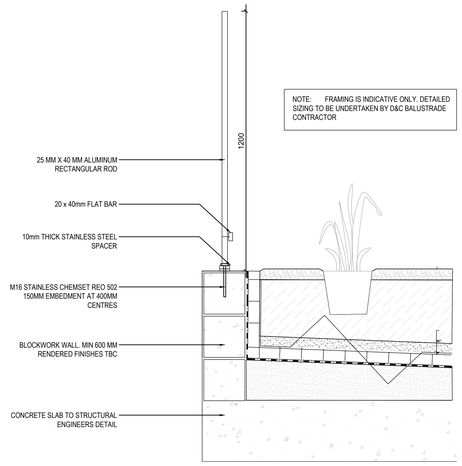

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03 FC4 FENCE SECTION
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ARCHITECT
DesignInc
DesignInc Sydney Pty Ltd
Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

CLIENT
PARITER

PROJECT
HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
HEATHCOTE,
SUTHERLAND 2233 NSW

TITLE
FENCING DETAILS
SHEET FOUR

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PLOT DATE	20 January 2021
PROJECT Nº.	P20-056
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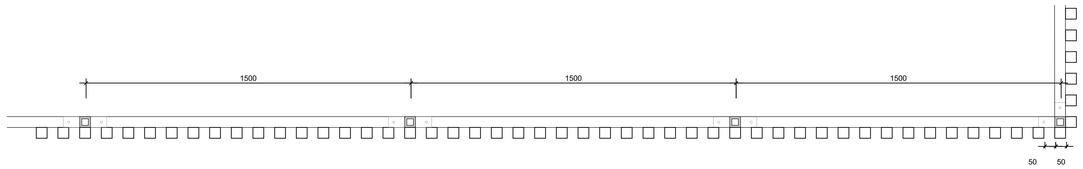

01 FC5 FENCE PLAN
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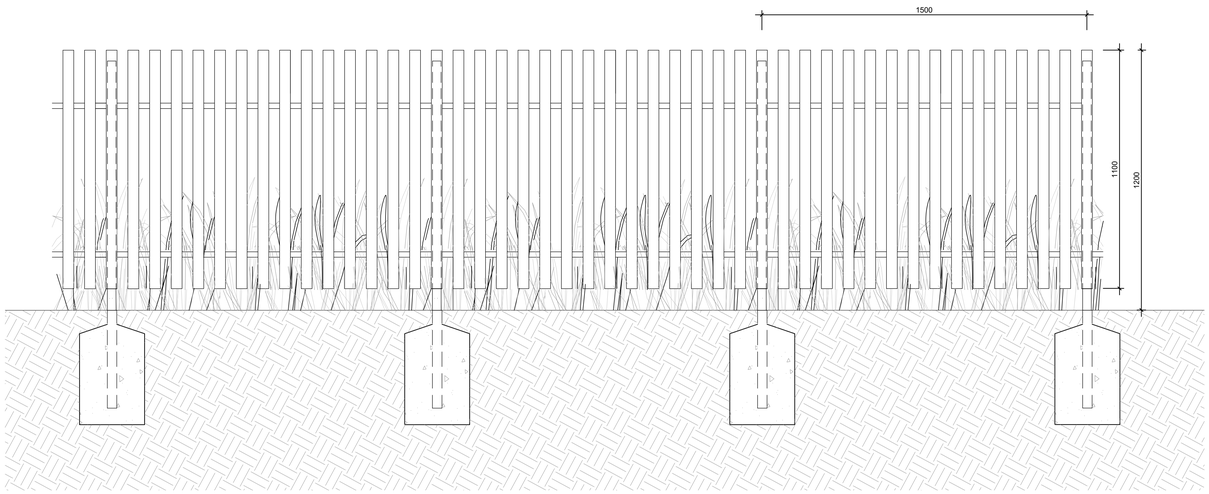

02 FC5 FENCE ELEVATION
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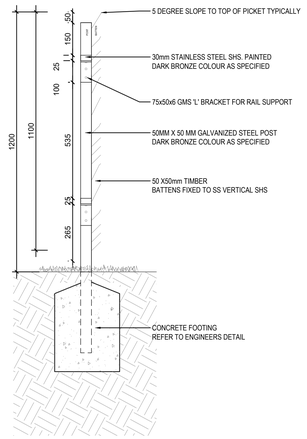

03 FC5 FENCE SECTION
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No	DATE	REVISIONS	BY
A	15/01/2021	S4.55 DEVELOPMENT APPLICATION	MD

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ARCHITECT
DesignInc
DesignInc Sydney Pty Ltd
Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

CLIENT
PARITER

PROJECT
HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
HEATHCOTE,
SUTHERLAND 2233 NSW

TITLE
FENCING DETAILS
SHEET FIVE

DRAWN BY	SP
SCALES	AS SHOWN
PLOT DATE	20 January 2021
PROJECT Nº.	P20-056
REVISION	A
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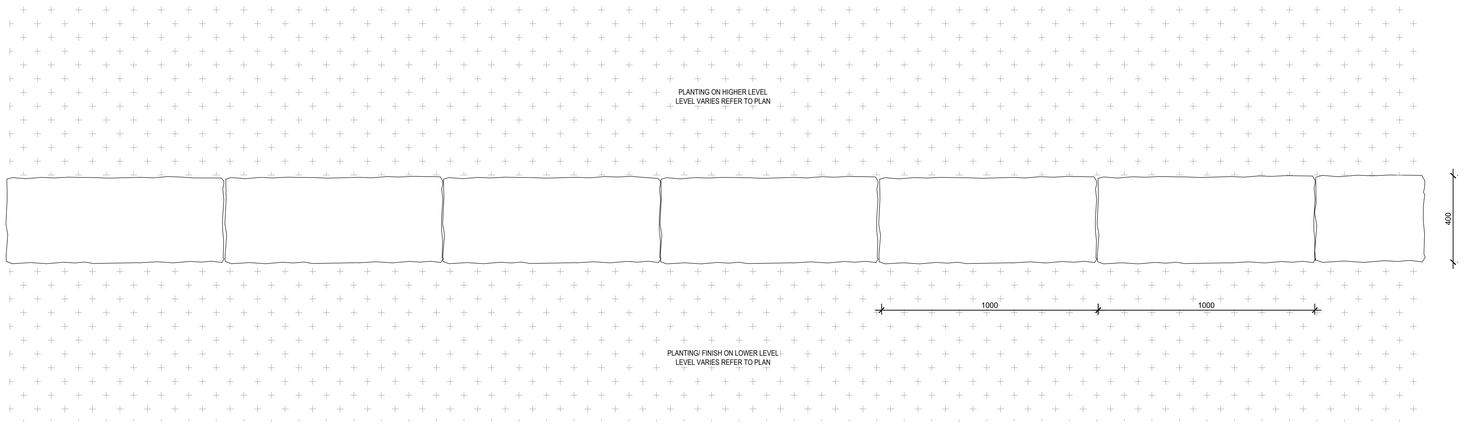
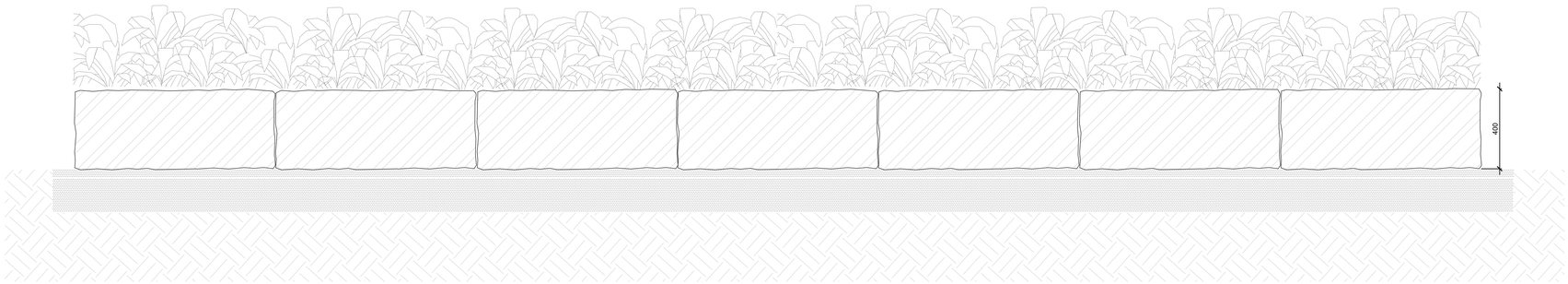
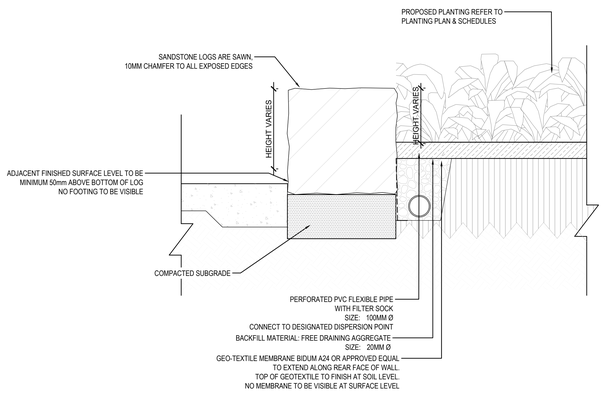


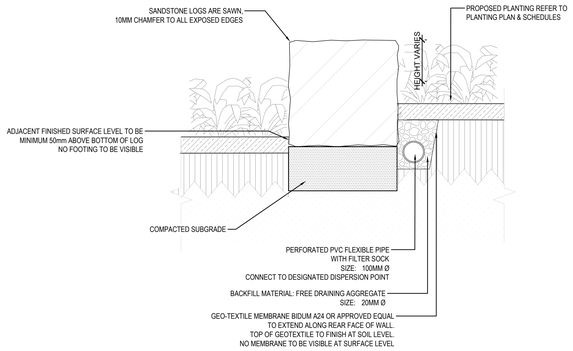
01 FC6 SANDSTONE LOG WALL PLAN
1:10



02 FC6 SANDSTONE LOG WALL ELEVATION
1:10



03 FC6 SANDSTONE LOG WALL SECTION WITH ADJACENT PAVING
1:10



04 FC6 SANDSTONE LOG WALL SECTION WITH ADJACENT PLANTING BED
1:10

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Figured dimensions govern, do not scale of drawings. Verify all dimensions on site. Report any discrepancies to the Superintendent for decision before proceeding with the work.

Nominated Architects
Sandeep Amin 7337 | Ian Armstrong 7260 | Richard Does 8126 | Cathryn Drew-Bredin 7269 | Mary Anne McGirr 10946 |

No	DATE	REVISIONS	BY
A	15/01/2021	S4.55 DEVELOPMENT APPLICATION	MD

METERS 1: 200
0 2 4 10

ARCHITECT
DesignInc
DesignInc Sydney Pty Ltd
Level 12, 77 Pacific Highway
North Sydney NSW 2060 Australia
+61 2 8905 7100
sydney@designinc.com.au

CLIENT
PARITER

PROJECT
HEATHCOTE GROUNDS
1-21 DILLWYNNIA GROVE,
HEATHCOTE,
SUTHERLAND 2233 NSW

TITLE
FENCING DETAILS
SHEET SIX

QUALITY CERTIFIED ISO 9001
Completion of the Drawing Status is evidence the design has been verified as conforming to the requirements of the Project M.S. Plan. Initialling the "Drawn By" box confirms that this drawing has been prepared in conformity with DesignInc Sydney M.S. procedures.

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SCALES	AS SHOWN
PLOT DATE	20 January 2021
PROJECT Nº.	P20-056
REVISION	A
DRAWING Nº.	LA-21

DRAWING STATUS	REVIEWED BY	SIGNATURE	DATE
	MD		

S4.55 DEVELOPMENT APPLICATION

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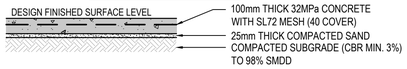
PAVEMENT TYPE 1
CONCRETE PAVEMENT
(NON-TRAFFICABLE)



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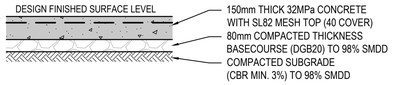

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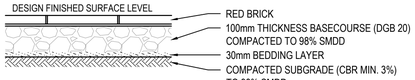
RED BRICK



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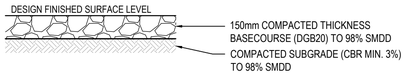
DECO GRAVEL PAVEMENT



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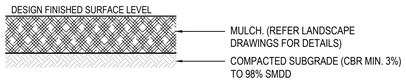
MULCH



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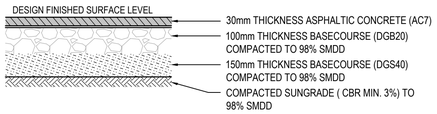
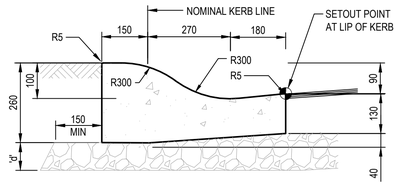
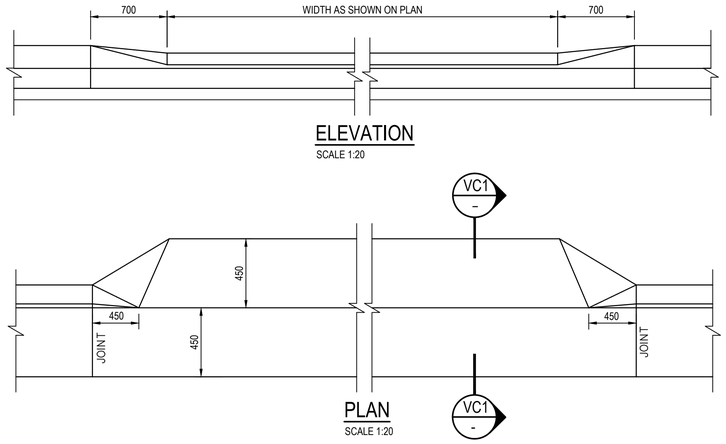
ASPHALT

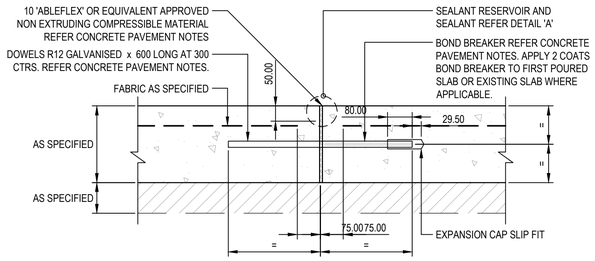




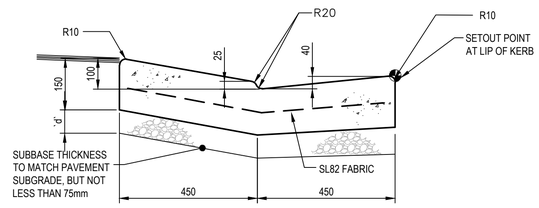
ROLL KERB AND GUTTER (RK&G)
SCALE 1:10
NOTE:
'd' = SUBBASE THICKNESS TO MATCH DEPTH OF PAVEMENT SUBBASE, BUT NOT LESS THAN 75



VEHICULAR CROSSING



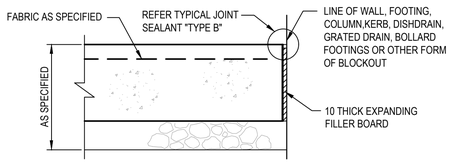
EXPANSION JOINT TYPE '2'
CONSTRUCTION AT POUR END
SCALE 1:10
SHOWN AS 'EJ2' ON PLAN



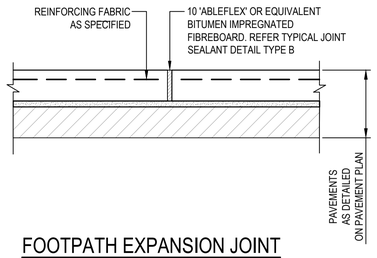
SECTION VC1
SCALE 1:10

SHOWN AS 'VC' ON PLAN
NOTE:
'd' = SUBBASE THICKNESS TO MATCH DEPTH OF PAVEMENT SUBBASE, BUT NOT LESS THAN 75

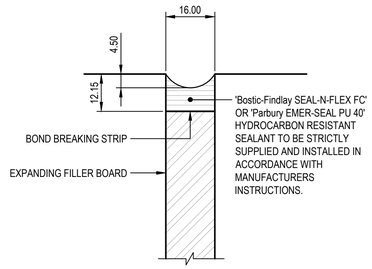
NOTES:
1. CONSTRUCT 10mm WIDE FULL DEPTH EXPANDING FILLER BOARD JOINTS WITH TYPE 'B' JOINT SEALANT TO BE PLACED AT NO MORE THAN 6m AND NOT LESS THAN 4m INTERVALS.
2. INDICATED ON PLAN WHERE DOWELS ARE REQUIRED.



TYPICAL ISOLATION JOINT DETAIL
SHOWN AS 'IJ' ON PLAN AND TO ALSO BE CONSTRUCTED IN LOCATIONS WHERE CONCRETE PAVEMENTS ABUT FORMS OF BLOCKOUT AS SPECIFIED BY THIS ISOLATION JOINT DETAIL UNLESS NOTIFIED OTHERWISE.
N.T.S.



FOOTPATH EXPANSION JOINT
SHOWN AS 'EJ' ON "TYPICAL JOINT PLAN FOR FOOTPATHS" DETAIL
SCALE 1:10



TYPICAL JOINT SEALANT TYPE 'B'
SCALE 1:1
NOTE: REFER SPECIFICATION FOR SEALANT TYPES WHICH SHALL BE SUPPLIED AND INSTALLED STRICTLY WITH MANUFACTURERS INSTRUCTIONS

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Rev	Revision Description	Date
03	ISSUED FOR TENDER	16.12.20
02	ISSUED FOR TENDER	10.12.20
01	ISSUED FOR TENDER	27.11.20

scp engineers and development consultants
L2 Danchen House
507 Kent St Sydney NSW 2000
ABN 80 003 076 024
T (02) 9267 9312
mail@scpconsult.com.au
www.scpconsult.com.au

Client
PARITER PTY LTD

Project
HEATHCOTE GROUNDS MAIN WORKS

Title
SITEWORKS DETAILS

Scale
AS SHOWN AT A1

Drawn	Checked	Approved
JE	BK	JC

Project Number	Drawing Number	Revision
S201117	C-03-51	03

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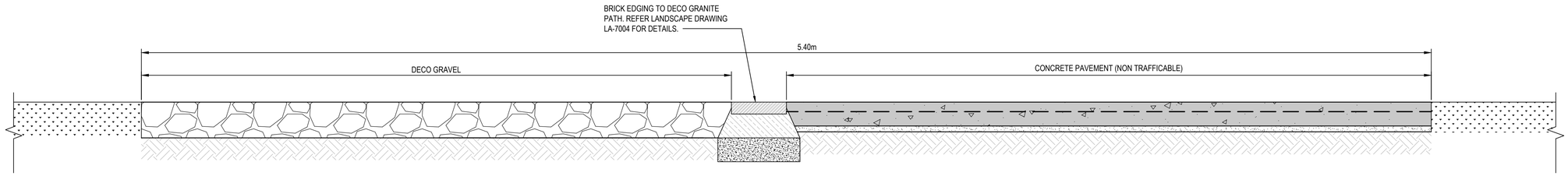
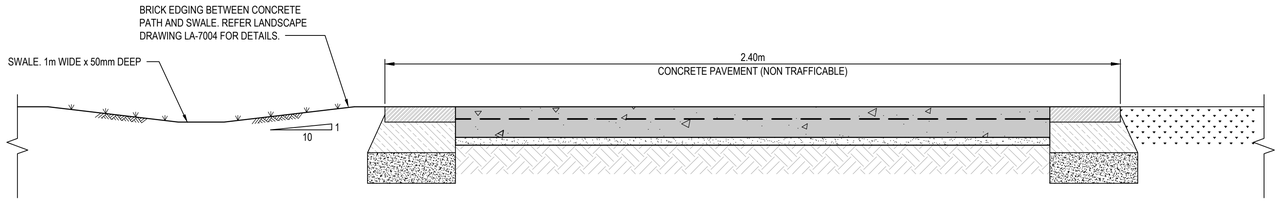


SECTION 1 C-03-01
SCALE 1:10



SECTION 2 C-03-01
SCALE 1:10

Rev	Revision Description	Date
03	ISSUED FOR TENDER	16.12.20
02	ISSUED FOR TENDER	10.12.20
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L2 Danchen House
507 Kent St Sydney NSW 2000
ABN 80 003 076 024
T (02) 9267 9312
mail@scpconsult.com.au
www.scpconsult.com.au

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Project
HEATHCOTE GROUNDS MAIN WORKS

Title
TYPICAL SECTIONS

Scale
AS SHOWN AT A1

Drawn	Checked	Approved
JE	BK	JC

Project Number	Drawing Number	Revision
S201117	C-04-11	03

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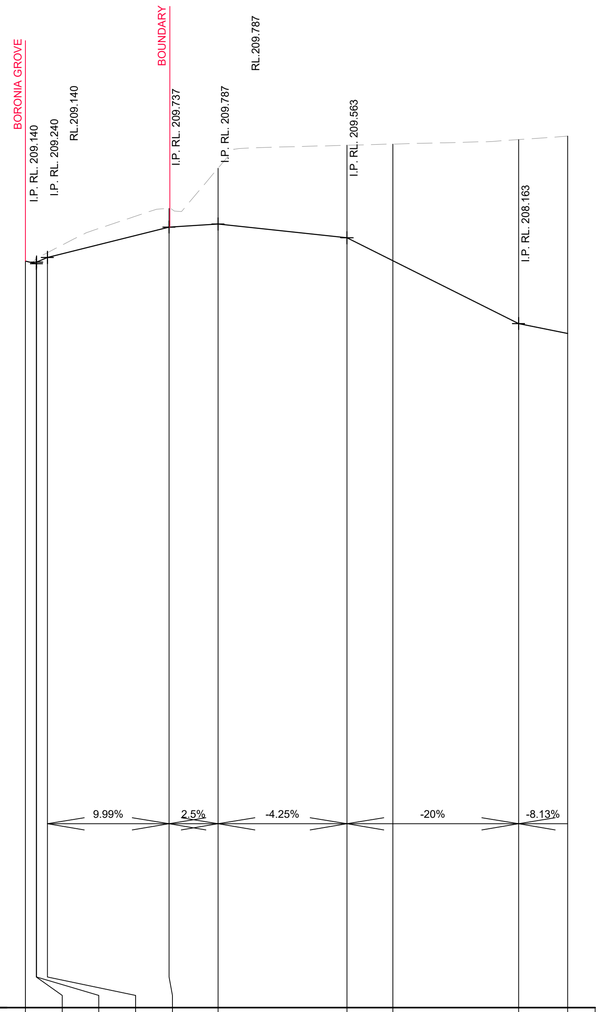

HORIZ GEOMETRY

GRADE (%) — 9.99% | 2.5% | -4.25% | -20% | -8.13%

V.C. LENGTH (m)

V.C. RADIUS (m)

DATUM R.L.197

DESIGN LEVEL	209.180	209.140	209.165	209.240	209.737	209.787	209.563	209.187	208.163	208.000	
EXISTING LEVEL	209.180	209.219	209.222	209.319	210.042	210.698	211.072	211.091	211.164	211.221	
CHAINAGE	0	0.45	0.46	0.9	5.862	7.862	13.123	15	20.123	22.123	

LONGITUDINAL SECTION - B1 DRIVEWAY

HORIZONTAL SCALE - 1:250
VERTICAL SCALE - 1:100

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scp engineers and development consultants
L2 Dianchen House
507 Kent St Sydney NSW 2000
ABN 80 003 076 024
T (02) 9267 9312
mail@scpconsult.com.au
www.scpconsult.com.au

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Project
HEATHCOTE GROUNDS MAIN WORKS

Title
DRIVEWAY LONG SECTIONS - SHEET 01 OF 03

Scale
AS SHOWN AT A1

Drawn	Checked	Approved
JE	BK	JC

Project Number	Drawing Number	Revision
S201117	C-04-21	03

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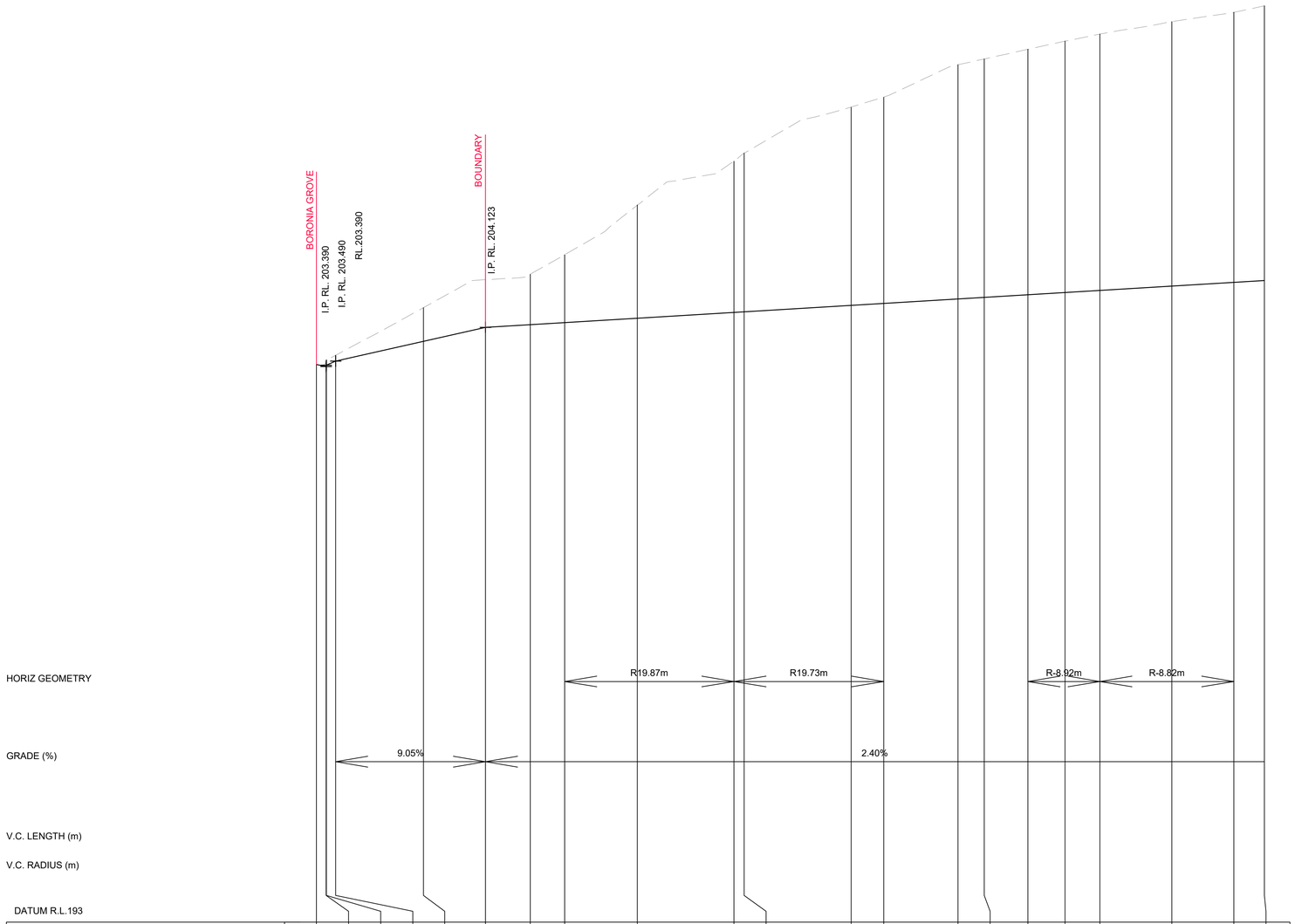

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EXISTING LEVEL	203.430	203.467	203.472	203.602	204.490	205.014	205.117	205.480	206.411	207.230	207.380	208.237	208.428	209.034	209.142	209.322	209.475	209.607	209.841	210.013	210.135	
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LONGITUDINAL SECTION - B2 DRIVEWAY

HORIZONTAL SCALE - 1:250
VERTICAL SCALE - 1:100

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02	ISSUED FOR TENDER	10.12.20
01	ISSUED FOR TENDER	27.11.20

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L2 Danchen House
507 Kent St Sydney NSW 2000
ABN 80 003 076 024
T (02) 9267 9312
mail@scpconsult.com.au
www.scpconsult.com.au

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Project
HEATHCOTE GROUNDS MAIN WORKS

Title
DRIVEWAY LONG SECTIONS - SHEET 02 OF 03

Scale
AS SHOWN AT A1

Drawn	Checked	Approved
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Project Number	Drawing Number	Revision
S201117	C-04-22	03

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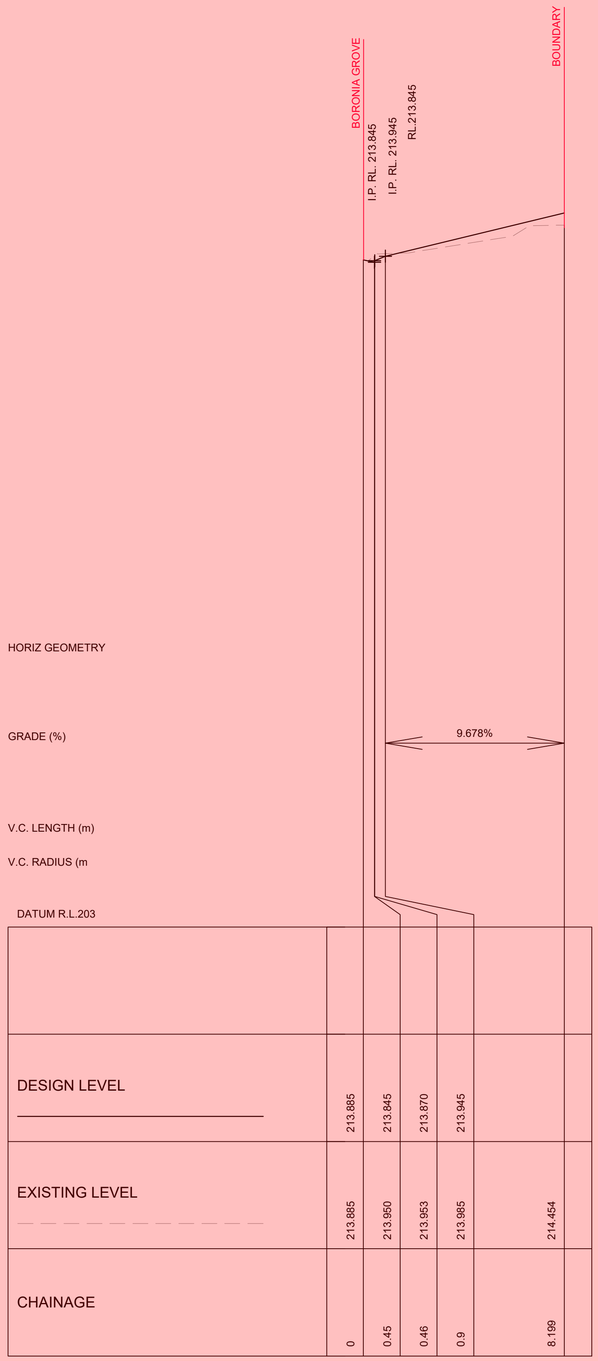

ADDED PLAN. WAS NOT PART OF THE DA PACKAGE

LONGITUDINAL SECTION - Carpark DRIVEWAY

HORIZONTAL SCALE - 1:250
VERTICAL SCALE - 1:100

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L2 Danchen House
507 Kent St Sydney NSW 2000
ABN 80 003 076 024
T (02) 9267 9312
mail@scpconsult.com.au
www.scpconsult.com.au

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Project
HEATHCOTE GROUNDS MAIN WORKS

Title
DRIVEWAY LONG SECTIONS - SHEET 03 OF 03

Scale
AS SHOWN AT A1

Drawn	Checked	Approved
JE	BK	JC

Project Number	Drawing Number	Revision
S201117	C-04-23	03

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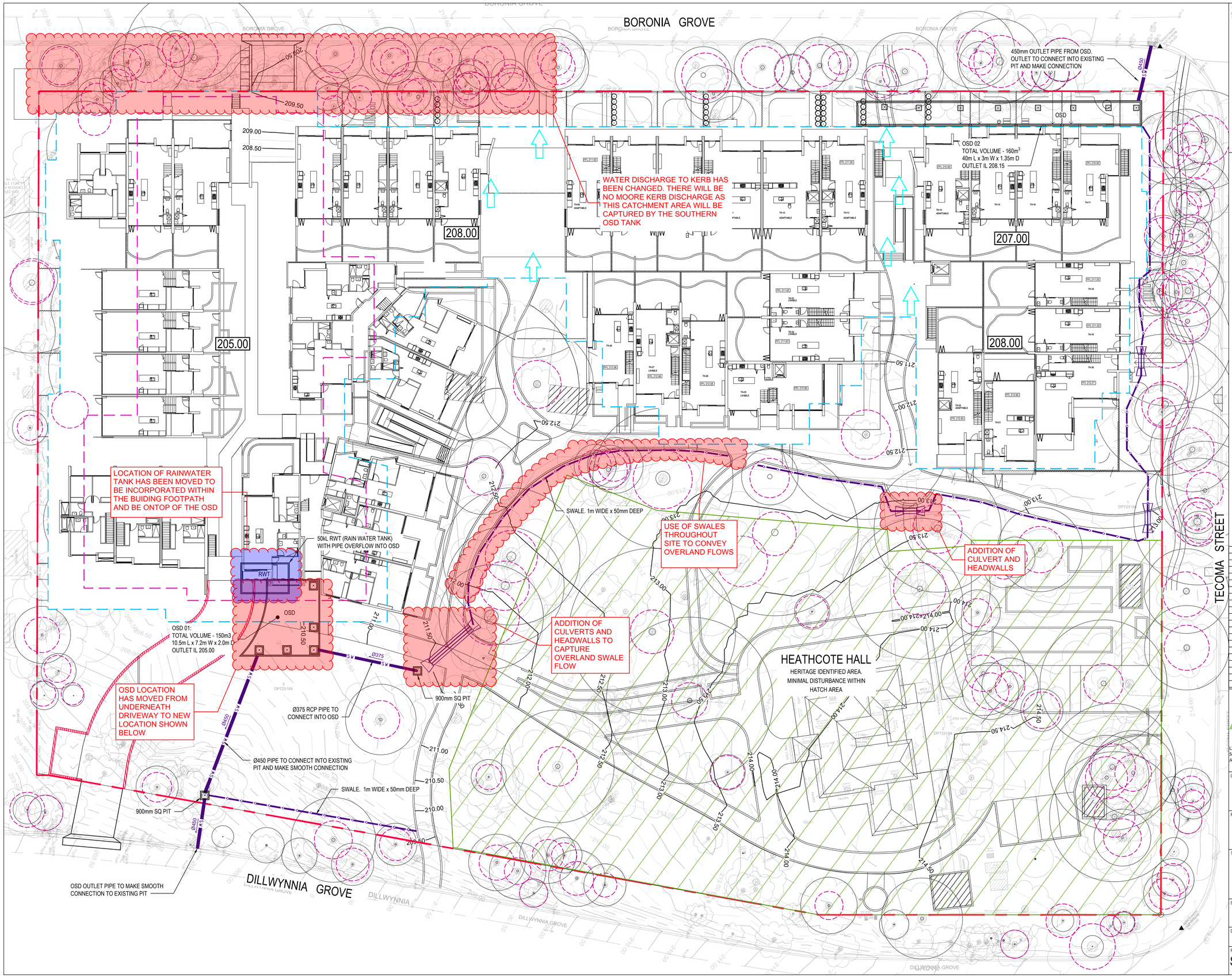

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04	ISSUED FOR TENDER	16.12.20
03	ISSUED FOR TENDER	10.12.20
02	ISSUED FOR TENDER	27.11.20
01	ISSUED FOR INFORMATION	23.11.20

scp engineers and development consultants

L2 Danchen House
507 Kent St Sydney NSW 2000
ABN 80 003 076 024

T (02) 9267 9312
mail@scpconsult.com.au
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Client
PARITER PTY LTD

Project
HEATHCOTE GROUNDS MAIN WORKS

Title
STORMWATER DRAINAGE LAYOUT PLAN

Scale
0 5000 12500
1:250 @ A1

Drawn	Checked	Approved
JE	BK	JC

Project Number	Drawing Number	Revision
S201117	C-05-01	04

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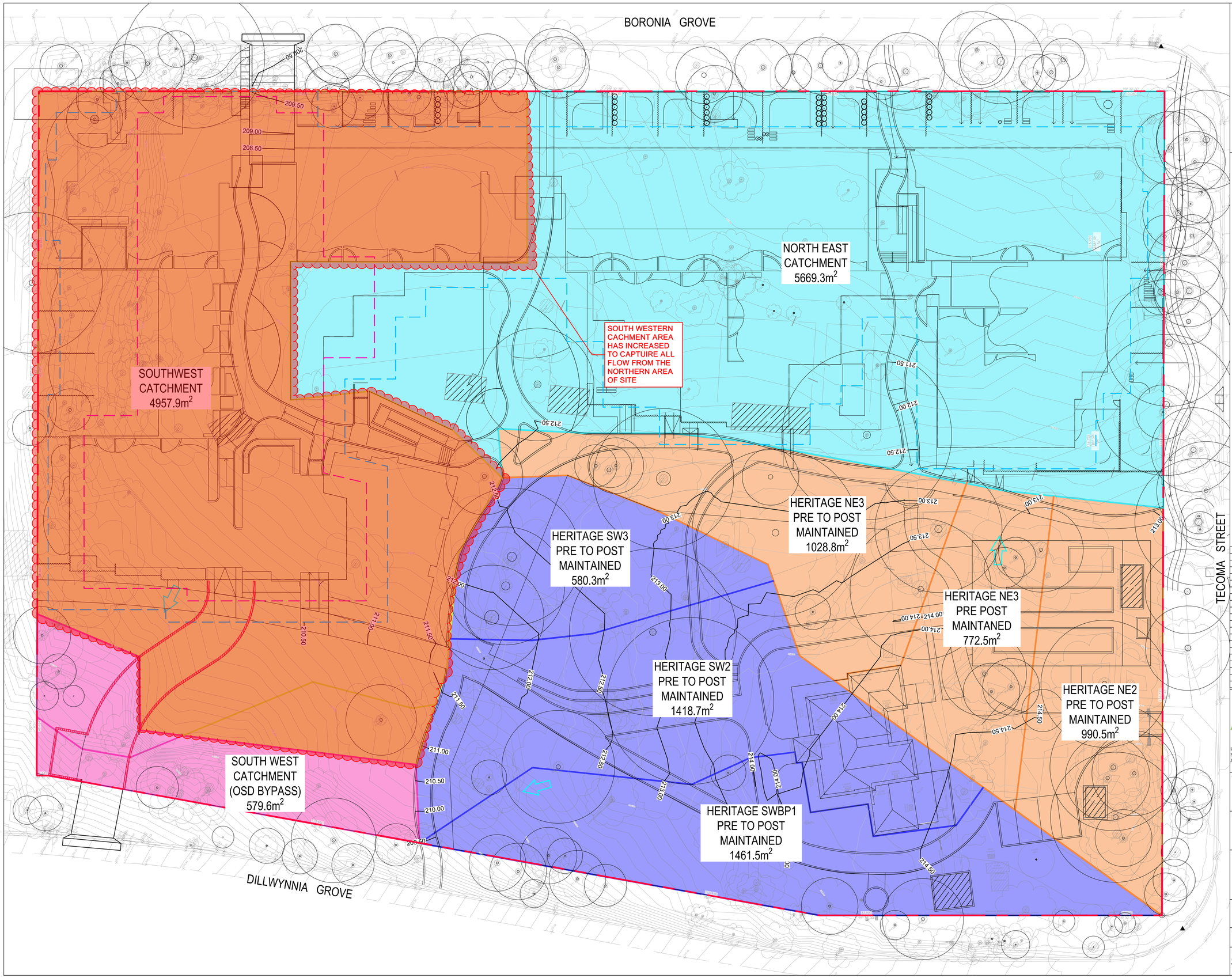

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01	ISSUED FOR TENDER	27.11.20

scp engineers and development consultants
L2 Danchen House
507 Kent St Sydney NSW 2000
ABN 80 003 076 024
T (02) 9267 9312
mail@scpconsult.com.au
www.scpconsult.com.au

Client
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Project
HEATHCOTE GROUNDS MAIN WORKS

Title
STORMWATER CATCHMENT PLAN

Scale
0 5000 12500
1:250 @ A1

Drawn	Checked	Approved
JE	BK	JC

Project Number	Drawing Number	Revision
S201117	C-05-21	03

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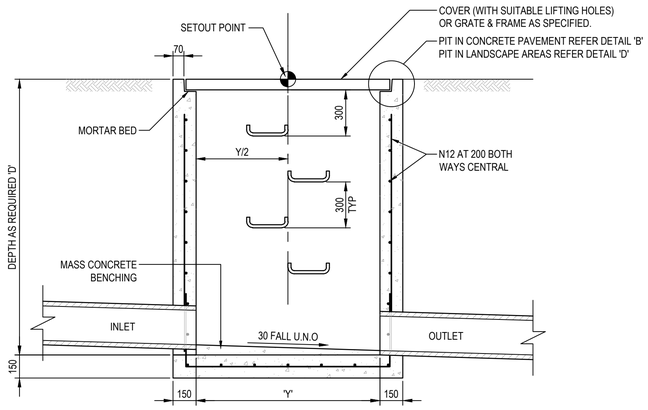
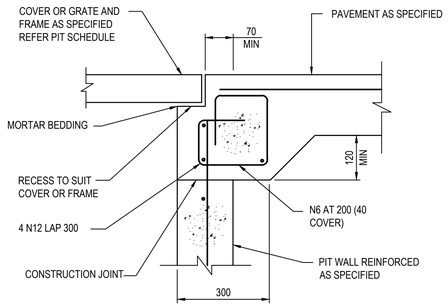
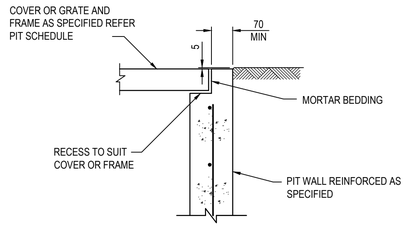


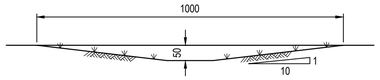
SECTION P1 -
SCALE 1:20



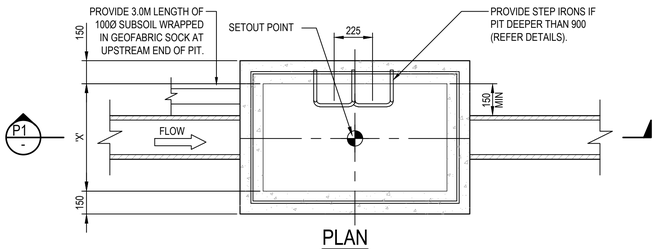
PIT EDGE DETAIL 'B'
SCALE 1:10



PIT EDGE DETAIL 'D'
SCALE 1:10



TYPICAL SECTION THROUGH GRASS LINED SWALE - TYPE 1
N.T.S

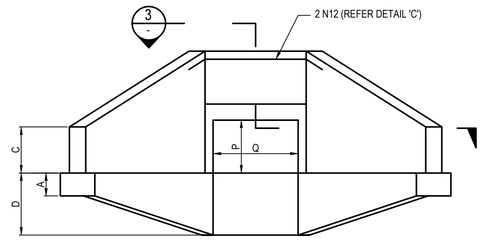


PLAN

SURFACE INLET/JUNCTION PIT
SCALE 1:20

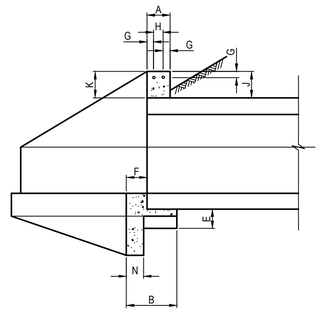
MINIMUM INTERNAL PIT DIMENSIONS		
'D'	'X'	'Y'
D ≤ 600	450	450*
D ≤ 900	600	600*
D ≤ 1200	600	900
D > 1200	900	900

NOTE: PITS DENOTED * SHALL BE USED ONLY WHERE SPECIFIED IN DRAINAGE SCHEDULE OR ON PLAN.

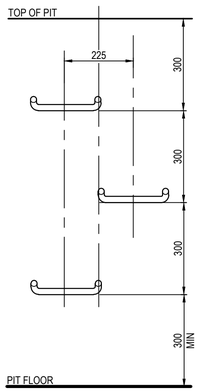


NOTE COMPRESSIVE STRENGTH (Fc) FOR CAST-IN-SITU CONCRETE TO BE A MINIMUM OF 20 MPa AT 28 DAYS.

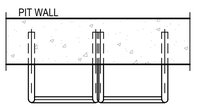
ELEVATION



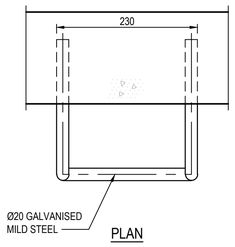
SECTION 4 -



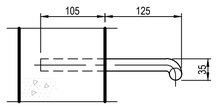
ELEVATION



PLAN



PLAN



SIDE ELEVATION

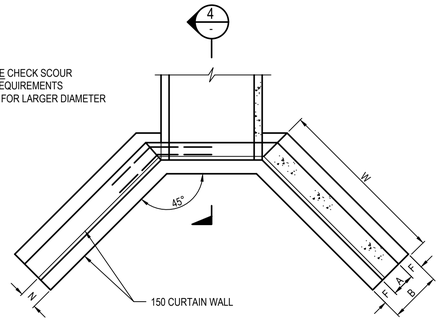
FRONT ELEVATION

STEP IRON PLACEMENT TO PIT WALL
SCALE NTS

STEP IRON DETAIL
SCALE 1:5

NOTE: ALL STEPS IRON TO BE PLASTIC COATED

DESIGNER NOTE CHECK SCOUR PROTECTION REQUIREMENTS PARTICULARLY FOR LARGER DIAMETER PIPES.



SECTION 3 -

NOTE 25mm CHAMFER ON ALL EXPOSED SURFACES CONCRETE GRADE 20 MPa.

HEADWALL TYPE 'D'														
CULVERT SIZE (P) x (Q)	A	B	C	D	E	F	G	H	J	K	N	W	L
300 x 150	150	300	150	375	100	75	40	70	100	200	150	700	820
300 x 225	150	300	225	375	100	75	40	70	100	200	150	700	820
375 x 150	150	300	150	375	100	75	40	70	100	200	150	700	900
375 x 225	150	300	225	375	100	75	40	70	100	200	150	700	900
450 x 150	150	300	150	375	100	75	40	70	100	200	150	850	970
450 x 225	150	300	225	375	100	75	40	70	100	200	150	850	970
450 x 300	150	300	300	375	100	75	40	70	100	200	150	850	970
600 x 225	175	450	225	530	100	100	50	75	100	300	150	1100	1130
600 x 300	175	450	300	530	100	100	50	75	100	300	150	1100	1130
600 x 450	175	450	450	530	100	100	50	75	100	300	150	1100	1130
750 x 225	200	450	225	530	100	100	50	100	100	300	150	1450	1290
750 x 300	200	450	300	530	100	100	50	100	100	300	150	1450	1290
750 x 450	200	450	350	530	100	100	50	100	100	300	150	1450	1290
750 x 600	200	450	350	530	100	100	50	100	100	300	150	1450	1290
900 x 225	225	450	225	530	100	100	50	125	100	300	150	1750	1450
900 x 300	225	450	300	530	100	100	50	125	100	300	150	1750	1450
900 x 450	225	450	350	530	100	100	50	125	100	300	150	1750	1450
900 x 600	225	450	350	530	100	100	50	125	100	300	150	1750	1450
900 x 750	225	450	350	530	100	100	50	125	100	300	150	1750	1450
1200 x 225	260	700	225	600	150	130	50	160	100	300	200	2300	1760
1200 x 300	260	700	300	600	150	130	50	160	100	300	200	2300	1760
1200 x 450	260	700	450	600	150	130	50	160	100	300	200	2300	1760
1200 x 600	260	700	450	600	150	130	50	160	100	300	200	2300	1760
1200 x 900	260	700	450	600	150	130	50	160	100	300	200	2300	1760

HEADWALL TYPE 'D'
SCALE 1:20

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Rev	Revision Description	Date
03	ISSUED FOR TENDER	16.12.20
02	ISSUED FOR TENDER	10.12.20
01	ISSUED FOR TENDER	27.11.20

scp engineers and development consultants
L2 Dianchen House
507 Kent St Sydney NSW 2000
ABN 80 003 076 024
T (02) 9267 9312
mail@scpconsult.com.au
www.scpconsult.com.au

Client
PARITER PTY LTD

Project
HEATHCOTE GROUNDS MAIN WORKS

Title
STORMWATER DETAILS

Scale
AS SHOWN AT A1

Drawn	Checked	Approved
JE	BK	JC

Project Number	Drawing Number	Revision
S201117	C-05-61	03

PLOTTED BY CAD 16/12/2020, 5:17:21 PM SCP Consulting, File Path: K:\S201117 heathcote grounds\07. cad\B05\Drawings\01 main works\C-05-60.dwg

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Rev	Revision Description	Date
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scp engineers and development consultants
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Client
PARITER PTY LTD

Project
HEATHCOTE GROUNDS MAIN WORKS

Title
SEDIMENT AND EROSION CONTROL PLAN

Scale
0 5000 12500
1:250 @ A1

Drawn	Checked	Approved
JE	BK	JC

Project Number	Drawing Number	Revision
S201117	C-06-01	04

EROSION AND SEDIMENT CONTROL NOTES

GENERAL INSTRUCTIONS

E1. THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE ENGINEERING PLANS, AND ANY OTHER PLANS OR WRITTEN INSTRUCTIONS THAT MAY BE ISSUED AND RELATING TO DEVELOPMENT AT THE SUBJECT SITE.

E2. THE SITE SUPERINTENDENT WILL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS INSTRUCTED IN THIS SPECIFICATION.

E3. ALL BUILDERS AND SUB-CONTRACTORS WILL BE INFORMED OF THEIR RESPONSIBILITIES IN MINIMISING THE POTENTIAL FOR SOIL EROSION AND POLLUTION TO DOWNSLOPE LANDS AND WATERWAYS.

CONSTRUCTION SEQUENCE

E4. THE SOIL EROSION POTENTIAL ON THIS SITE SHALL BE MINIMISED. HENCE WORKS SHALL BE UNDERTAKEN IN THE FOLLOWING SEQUENCE :

a. INSTALL SEDIMENT FENCES, TEMPORARY CONSTRUCTION EXIT AND SANDBAG KERB INLET SEDIMENT TRAP.
b. UNDERTAKE SITE DEVELOPMENT WORKS IN ACCORDANCE WITH THE ENGINEERING PLANS. PHASE DEVELOPMENT SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF WORKABLE SIZE.

EROSION CONTROL

E5. DURING WINDY CONDITIONS, LARGE, UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL.

E6. FINAL SITE LANDSCAPING WILL BE UNDERTAKEN AS SOON AS POSSIBLE AND WITHIN 20 WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.

FENCING

E7. STOCKPILES WILL NOT BE LOCATED WITHIN 2 METRES OF HAZARD AREAS, INCLUDING LIKELY AREAS OF CONCENTRATED OR HIGH VELOCITY FLOWS SUCH AS WATERWAYS. WHERE THEY ARE BETWEEN 2 AND 5 METRES FROM SUCH AREAS, SPECIAL SEDIMENT CONTROL MEASURES SHOULD BE TAKEN TO MINIMISE POSSIBLE POLLUTION TO DOWNSLOPE WATERS, E.G. THROUGH INSTALLATION OF SEDIMENT FENCING.

E8. ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) WILL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.

E9. WATER WILL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS IT IS RELATIVELY SEDIMENT FREE, I.E. THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE.

E10. TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES WILL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE REHABILITATED.

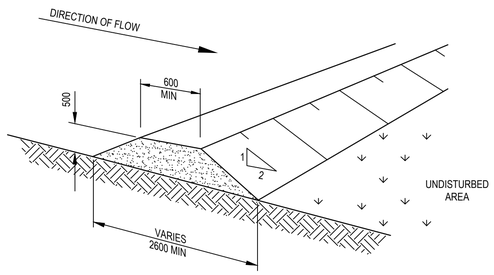
OTHER MATTERS

E11. ACCEPTABLE RECEPTORS WILL BE PROVIDED FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER.

E12. RECEPTORS FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER ARE TO BE EMPTIED AS NECESSARY. DISPOSAL OF WASTE SHALL BE IN A MANNER APPROVED BY THE SITE SUPERINTENDENT.

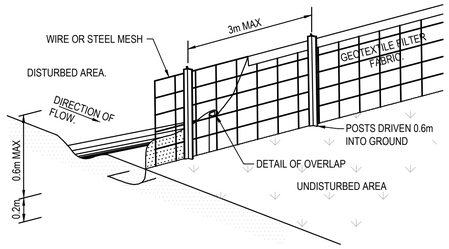
SITE INSPECTION & MAINTENANCE

E13. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AFTER RAINFALL EVENTS TO ENSURE THAT THEY OPERATE EFFECTIVELY. REPAIR AND OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED.



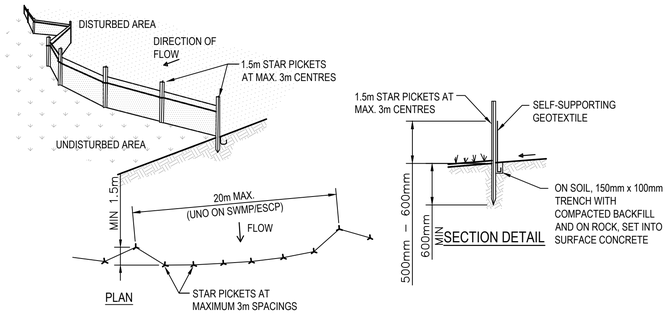
DIVERSION MOUND

NTS



SEDIMENT CONTROL FENCE

NTS



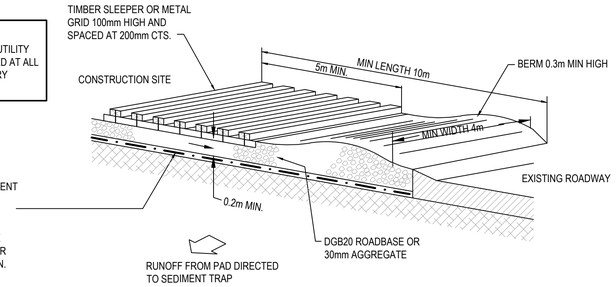
CONSTRUCTION NOTES

1. CONSTRUCT SEDIMENT FENCE AS CLOSE AS POSSIBLE TO PARALLEL TO THE CONTOURS OF THE SITE.
2. DRIVE 1.5m LONG STAR PICKETS INTO GROUND, 3 METRES APART.
3. DIG A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
4. BACKFILL TRENCH OVER BASE OF FABRIC.
5. FIX SELF-SUPPORTING GEOTEXTILE TO UPSLOPE SIDE OF POSTS WITH WIRE TIES OR AS RECOMMENDED BY GEOTEXTILE MANUFACTURER.
6. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.

SEDIMENT CONTROL FENCE

NTS

NOTE:
ENSURE THAT ALL COUNCIL AND PUBLIC UTILITY ASSETS ARE MAINTAINED AND PROTECTED AT ALL TIMES IN THE VICINITY OF THE TEMPORARY CONSTRUCTION EXIT



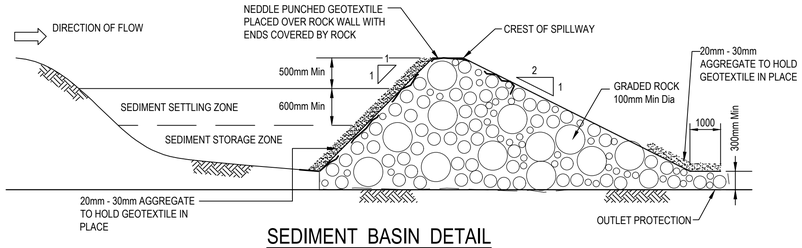
CONSTRUCTION NOTES

1. STRIP TOPSOIL AND LEVEL SITE.
2. COMPACT SUBGRADE.
3. COVER AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
4. CONSTRUCT 200MM THICK PAD OVER GEOTEXTILE USING ROADBASE OR 30MM AGGREGATE.
5. CONSTRUCT HUMP IMMEDIATELY WITHIN BOUNDARY TO DIVERT WATER TO A SEDIMENT FENCE OR OTHER SEDIMENT TRAP WHERE THE SEDIMENT IS COLLECTED AND REMOVED.

MAINTENANCE NOTES

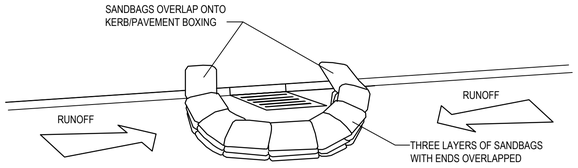
THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH PREVENTS TRACKING OR FLOWING OF SEDIMENT OFF THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL GRAVEL AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED OFF THE CONSTRUCTION SITE MUST BE REMOVED IMMEDIATELY.

TEMPORARY STABILISED CONSTRUCTION EXIT

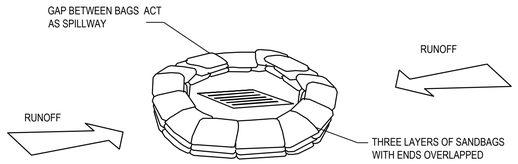


SEDIMENT BASIN DETAIL

NTS



SANDBAG SEDIMENT TRAP - AT KERB SAG PIT



SANDBAG SEDIMENT TRAP - AT OTHER THAN KERB SAG PIT

SANDBAG SEDIMENT TRAP DETAILS

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scp engineers and development consultants
L2 Danchen House
507 Kent St Sydney NSW 2000
ABN 80 003 076 024
T (02) 9267 9312
mail@scpconsult.com.au
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Project
HEATHCOTE GROUNDS MAIN WORKS

Title
SEDIMENT AND EROSION CONTROL DETAILS

Scale
AS SHOWN AT A1

Drawn	Checked	Approved
JE	BK	JC

Project Number	Drawing Number	Revision
S201117	C-06-11	04

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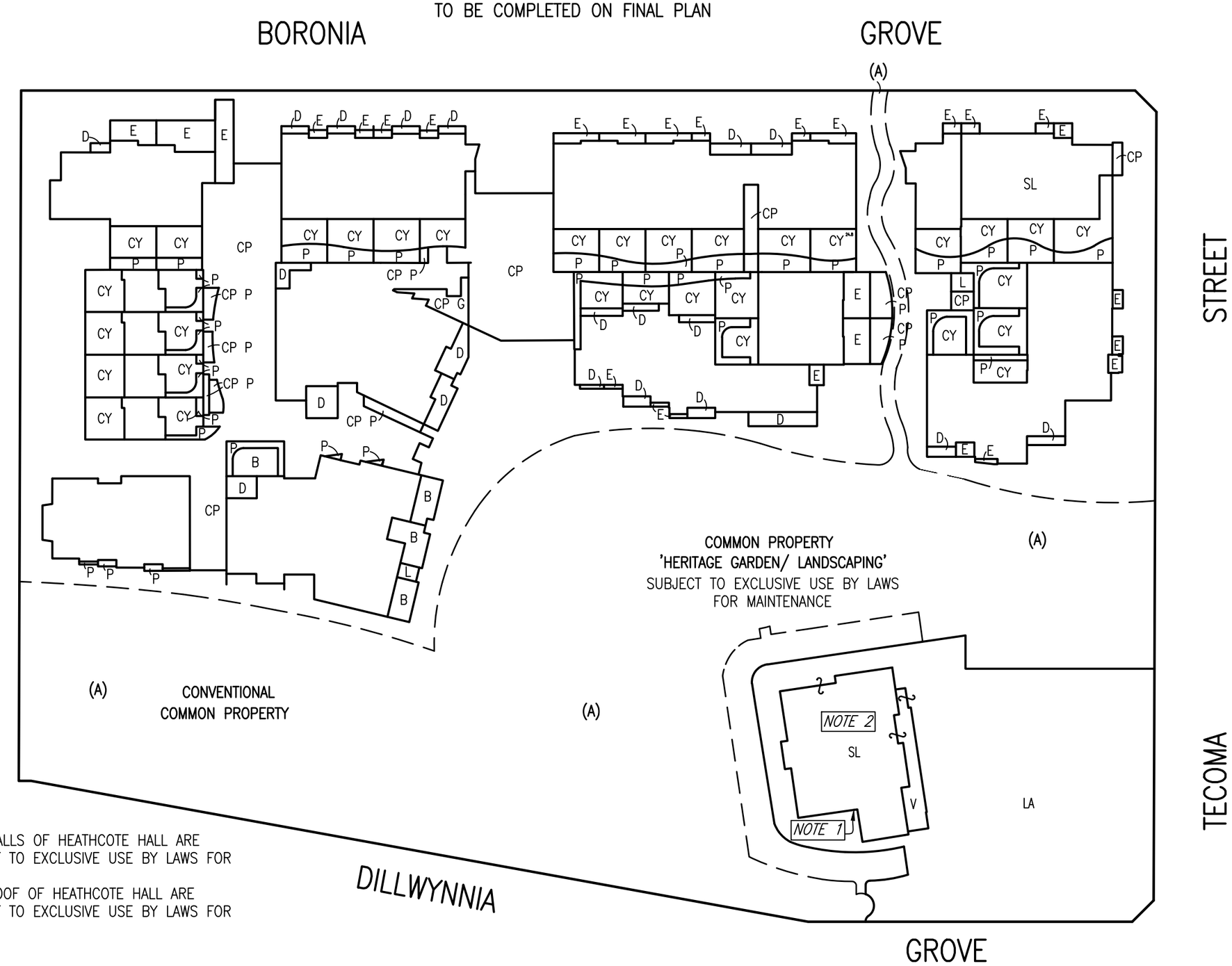
LOCATION PLAN

TO BE COMPLETED ON FINAL PLAN



LA – DENOTES LANDSCAPE AREA
SL – PRIVATE STRATA LOTS
V – PRIVATE STRATA VERANDA
B – BALCONY
CY – COURTYARD
CP – COMMON PROPERTY
D – DECK
E – ENTRY
G – GARDEN
L – LIFT
P – PLANTER

(A) – EASEMENT FOR PUBLIC ACCESS VARIABLE WIDTH

NOTE 1 THE HERITAGE PERIMETER WALLS OF HEATHCOTE HALL ARE COMMON PROPERTY SUBJECT TO EXCLUSIVE USE BY LAWS FOR MAINTENANCE

NOTE 2 THE HERITAGE PERIMETER ROOF OF HEATHCOTE HALL ARE COMMON PROPERTY SUBJECT TO EXCLUSIVE USE BY LAWS FOR MAINTENANCE

Name: ADAM RICHARDSON Date: XX/XXX/XX Reference: 170224 DSP	PLAN OF SUBDIVISION OF 1–21 DILLWYNNIA GROVE	LGA: SUTHERLAND SHIRE Locality: HEATHCOTE Reduction Ratio: 1:600 Lengths are in metres.	REGISTERED CONTRACT PLAN Plan compiled from architectural CAD data. Plan is subject to final survey after completion of construction.	**DRAFT** PRINTED 23 NOV 2020 ISSUE 10

V:\99 MIGRATION DATA\02 NSW\SYDNEY\ACADData\00ALL VERIS JOBS\202001–210000\202367 Dillwynnia Grove\202367 DSP\202367 DSP SHT01-LOC.dwg

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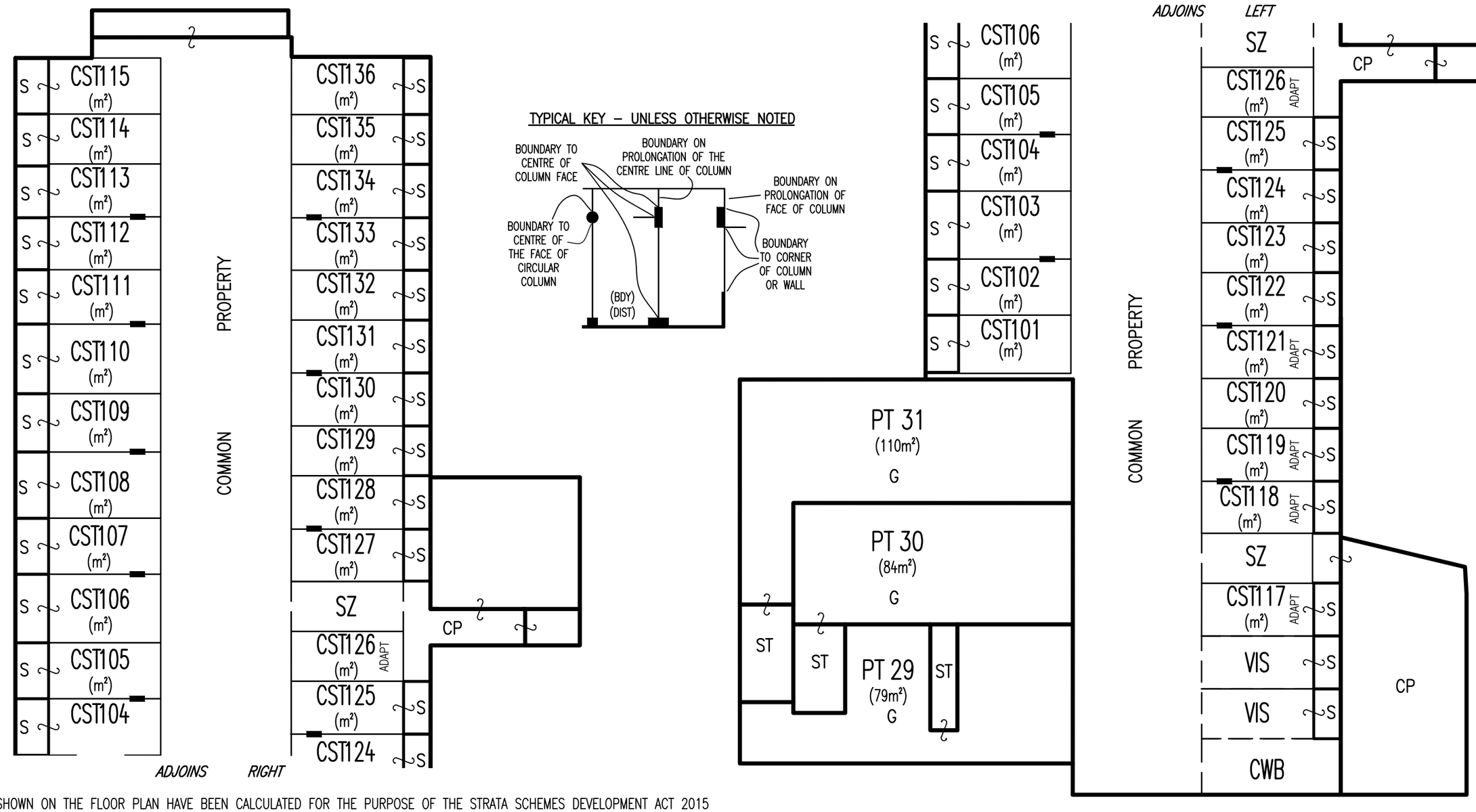
BASEMENT LEVEL 2



AREAS SHOWN ON THE FLOOR PLAN HAVE BEEN CALCULATED FOR THE PURPOSE OF THE STRATA SCHEMES DEVELOPMENT ACT 2015 ONLY. THEY MAY DIFFER FROM FLOOR AREAS FOR OTHER PURPOSES.

THOSE PARTS OF SERVICE LINES WHICH SERVICE ONE LOT ONLY AND ARE LOCATED OUTSIDE OF THAT LOT ARE COMMON PROPERTY.

FOR CLARITY NOT ALL COMMON PROPERTY STRUCTURES ARE SHOWN.

ADAPT – DENOTES ADAPTABLE UNIT CAR SPACE
CP – DENOTES COMMON PROPERTY
G – DENOTES GARAGE
CST – DENOTES CAR SPACE TO BE ALLOCATED
S – DENOTES STORAGE SPACE
ST – DENOTES STAIRS
SZ – DENOTES SHARED ZONE
VIS – DENOTES VISITOR CAR SPACE WITHIN COMMOM PROPERTY

Name: ADAM RICHARDSON Date: XX/XXX/XX Reference: 170224 DSP	PLAN OF SUBDIVISION OF 1–21 DILLWYNNIA GROVE	LGA: SUTHERLAND SHIRE Locality: HEATHCOTE Reduction Ratio: 1:200 Lengths are in metres.	REGISTERED **CONTRACT PLAN** Plan compiled from architectural CAD data. Plan is subject to final survey after completion of construction.	**DRAFT** PRINTED 23 NOV 2020 ISSUE 10

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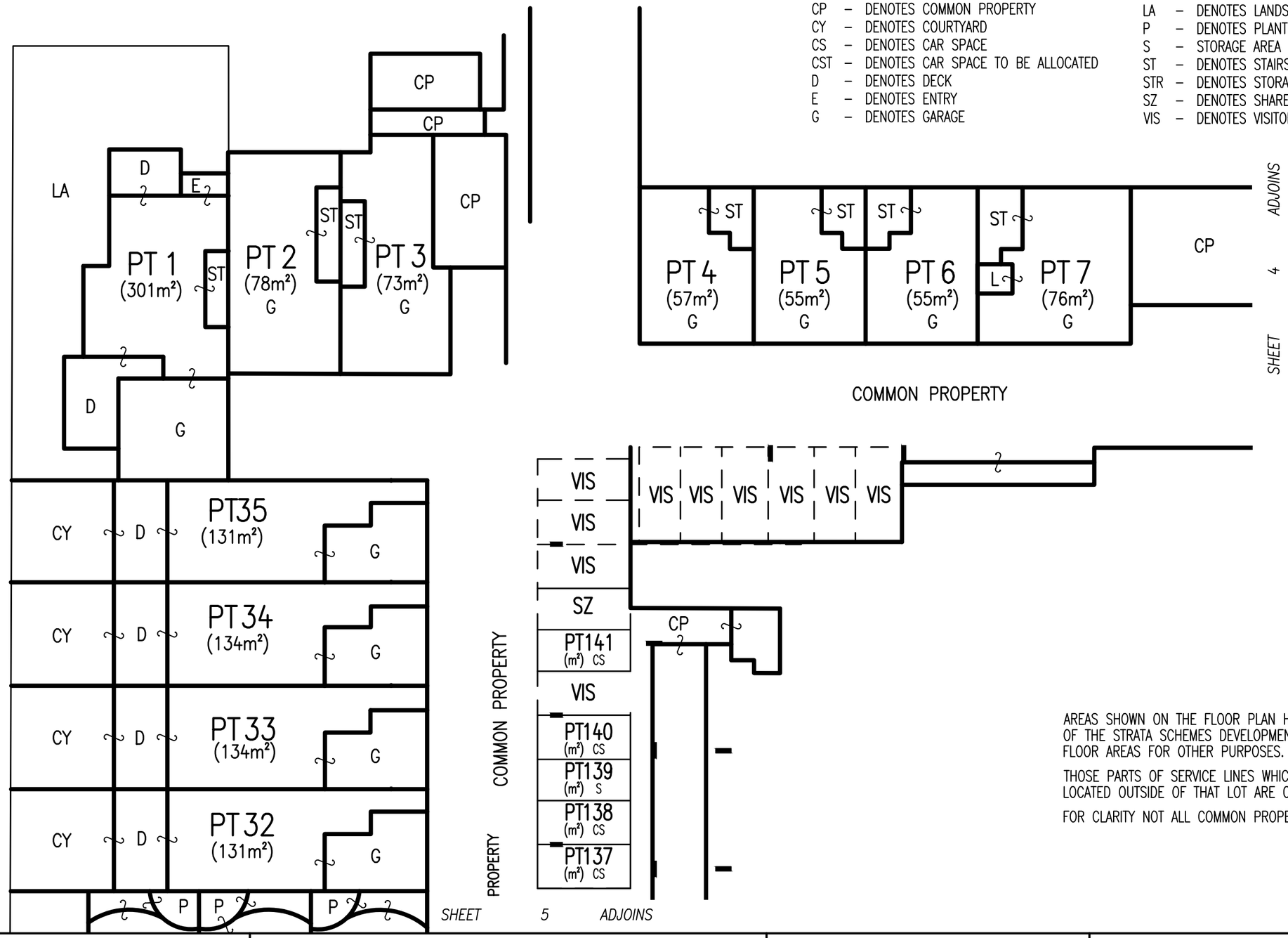
BASEMENT LEVEL 1

ADAPT– DENOTES ADAPTABLE UNIT CAR SPACE
CP – DENOTES COMMON PROPERTY
CY – DENOTES COURTYARD
CS – DENOTES CAR SPACE
CST – DENOTES CAR SPACE TO BE ALLOCATED
D – DENOTES DECK
E – DENOTES ENTRY
G – DENOTES GARAGE
L – DENOTES LIFT
LA – DENOTES LANDSCAPE AREA
P – DENOTES PLANTER
S – STORAGE AREA
ST – DENOTES STAIRS
STR – DENOTES STORAGE TO BE ALLOCATED
SZ – DENOTES SHARED ZONE
VIS – DENOTES VISITOR CAR SPACE WITHIN COMMON PROPERTY



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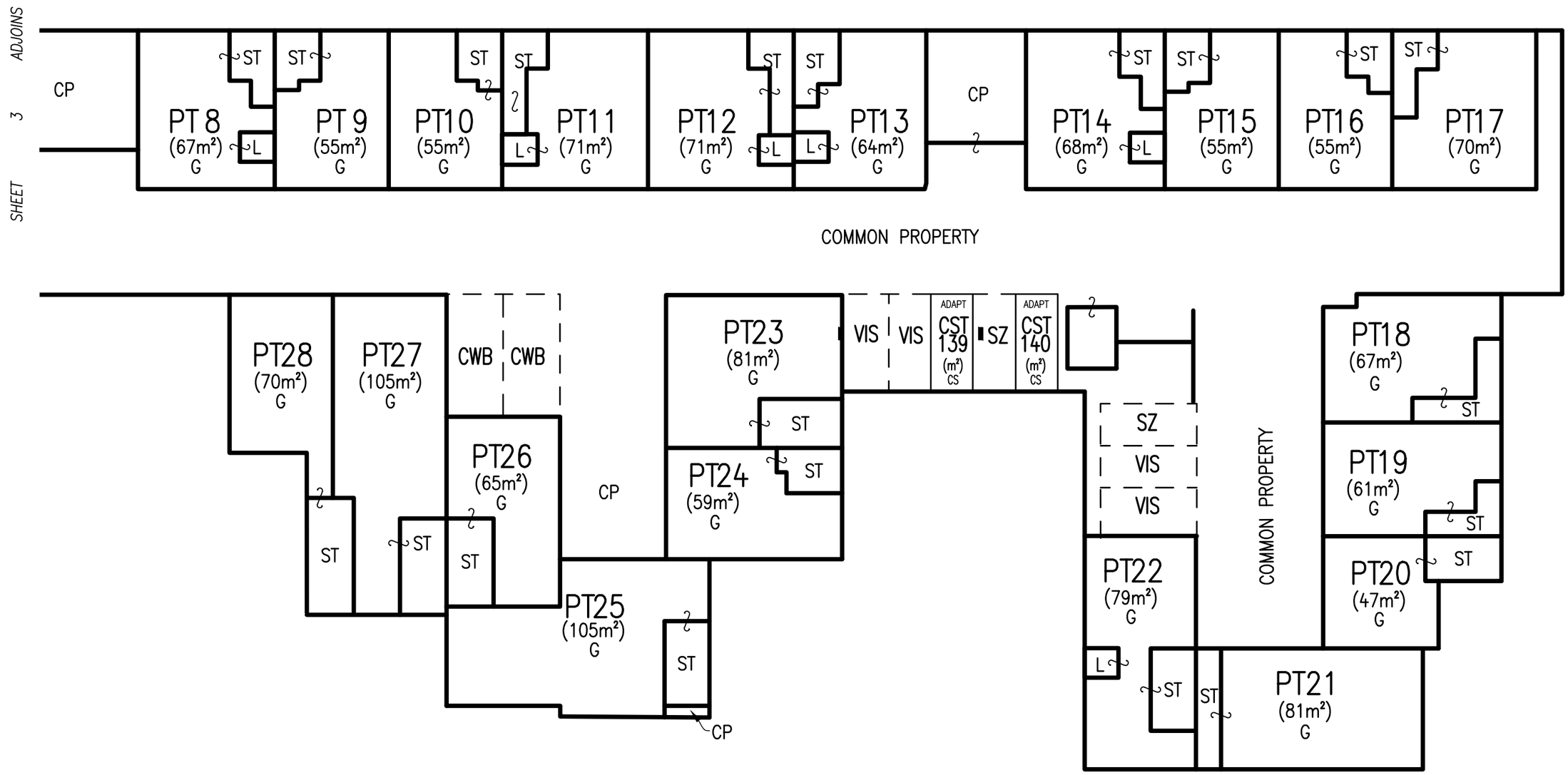
RECEIVED: 26 OCT 2020

BASEMENT LEVEL 1



ADAPT– DENOTES ADAPTABLE UNIT CAR SPACE
CP – DENOTES COMMON PROPERTY
CY – DENOTES COURTYARD
CS – DENOTES CAR SPACE
CST – DENOTES CAR SPACE TO BE ALLOCATED
D – DENOTES DECK
E – DENOTES ENTRY
G – DENOTES GARAGE

L – DENOTES LIFT
LA – DENOTES LANDSCAPE AREA
P – DENOTES PLANTER
S – STORAGE AREA
ST – DENOTES STAIRS
STR – DENOTES STORAGE TO BE ALLOCATED
SZ – DENOTES SHARED ZONE
VIS – DENOTES VISITOR CAR SPACE WITHIN COMMON PROPERTY

AREAS SHOWN ON THE FLOOR PLAN HAVE BEEN CALCULATED FOR THE PURPOSE OF THE STRATA SCHEMES DEVELOPMENT ACT 2015 ONLY. THEY MAY DIFFER FROM FLOOR AREAS FOR OTHER PURPOSES.

THOSE PARTS OF SERVICE LINES WHICH SERVICE ONE LOT ONLY AND ARE LOCATED OUTSIDE OF THAT LOT ARE COMMON PROPERTY.

FOR CLARITY NOT ALL COMMON PROPERTY STRUCTURES ARE SHOWN.

Name: ADAM RICHARDSON
Date: XX/XXX/XX
Reference: 170224 DSP

PLAN OF SUBDIVISION OF 1–21
DILLWYNNIA GROVE

LGA: SUTHERLAND SHIRE
Locality: HEATHCOTE
Reduction Ratio: 1:250
Lengths are in metres.

REGISTERED
CONTRACT PLAN
Plan compiled from architectural CAD data.
Plan is subject to final survey after completion of construction.

DRAFT
PRINTED 23 NOV 2020
ISSUE 10

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ARCHITECT
DWG No.: 2-201026_HG_OVERALL MARKETING_B1_DWG FOR STRATA
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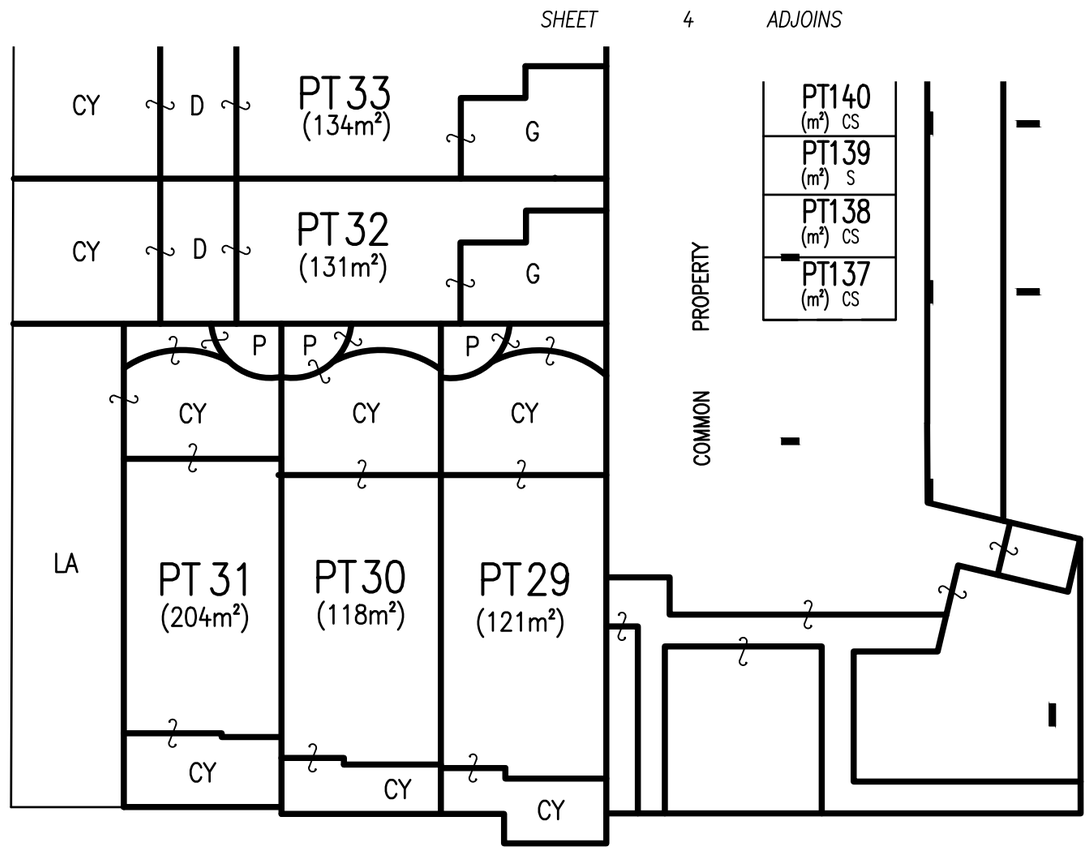
BASEMENT LEVEL 1



ADAPT – DENOTES ADAPTABLE UNIT CAR SPACE
CP – DENOTES COMMON PROPERTY
CY – DENOTES COURTYARD
G – DENOTES GARAGE
LA – DENOTES LANDSCAPED AREA
S – DENOTES ALLOCATED STORAGE SPACE
VIS – DENOTES VISITOR CAR SPACE WITHIN COMMON PROPERTY

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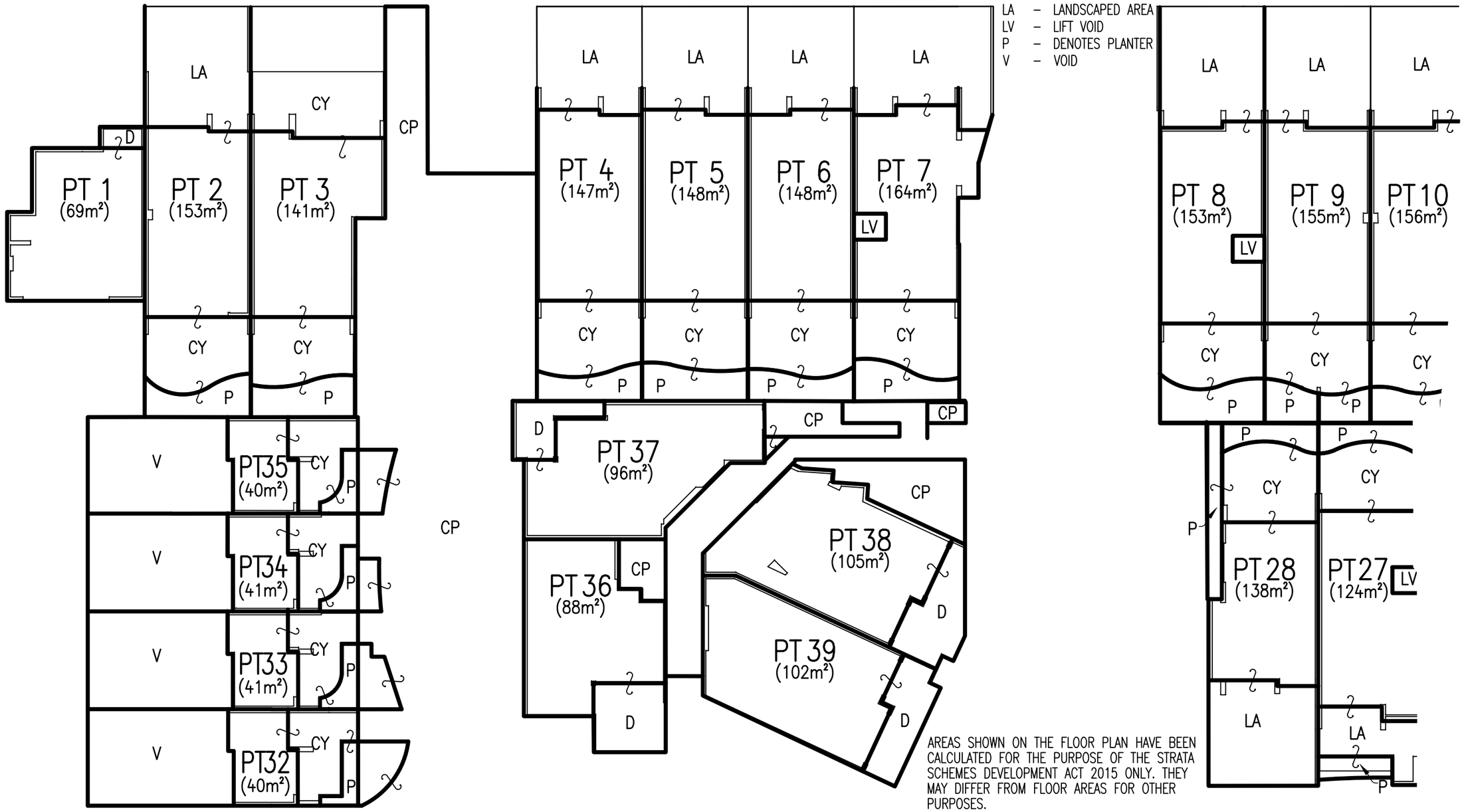
Name: ADAM RICHARDSON Date: XX/XXX/XX Reference: 170224 DSP	PLAN OF SUBDIVISION OF 1–21 DILLWYNNIA GROVE	LGA: SUTHERLAND SHIRE Locality: HEATHCOTE Reduction Ratio: 1:250 Lengths are in metres.	REGISTERED CONTRACT PLAN Plan compiled from architectural CAD data. Plan is subject to final survey after completion of construction.	DRAFT PRINTED 23 NOV 2020 ISSUE 10

THIS PLAN IS BASED ON PLANS BY
ARCHITECT
DWG No.: 3-201026_HG_OVERALL MARKETING_LEVEL GROUND_DWG FOR STRATA
RECEIVED: 26 OCT 2020

GROUND LEVEL

CP – DENOTES COMMON PROPERTY
CY – DENOTES COURTYARD
D – DENOTES DECK
E – DENOTES ENTRY
LA – LANDSCAPED AREA
LV – LIFT VOID
P – DENOTES PLANTER
V – VOID



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CONTINUED ON SHEET 8

THE AREAS BELOW STAIRS FORM PART OF THE RESPECTIVE LOT.

Name: ADAM RICHARDSON Date: XX/XXX/XX Reference: 170224 DSP	PLAN OF SUBDIVISION OF 1–21 DILLWYNNIA GROVE	LGA: SUTHERLAND SHIRE Locality: HEATHCOTE Reduction Ratio: 1:250 Lengths are in metres.	REGISTERED **CONTRACT PLAN** Plan compiled from architectural CAD data. Plan is subject to final survey after completion of construction.

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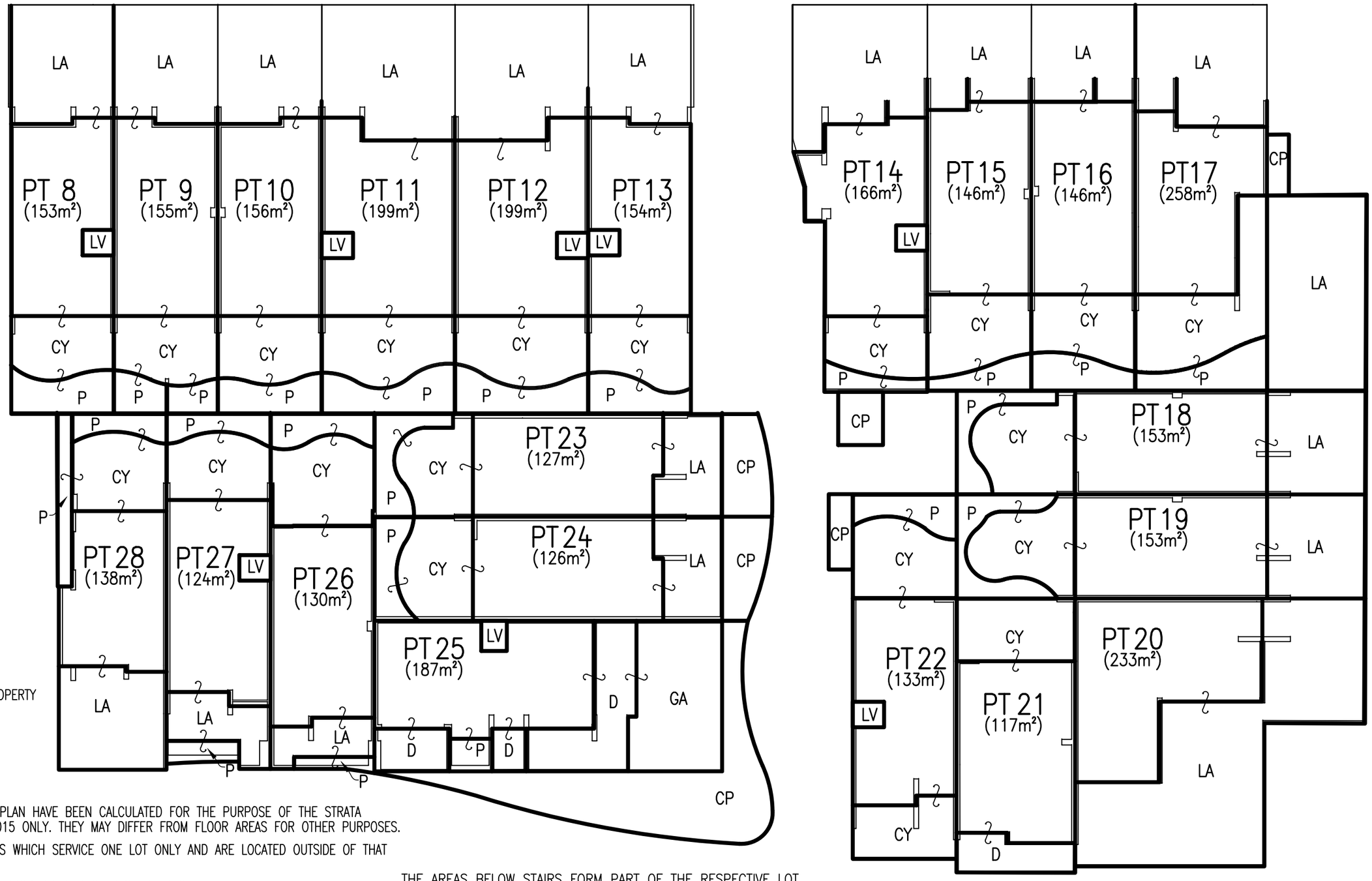
ARCHITECT
DWG No.: 3-201026_HG_OVERALL MARKETING_LEVEL GROUND_DWG FOR STRATA
RECEIVED: 26 OCT 2020

GROUND LEVEL



CP – DENOTES COMMON PROPERTY
CY – DENOTES COURTYARD
D – DENOTES DECK
E – DENOTES ENTRY
P – DENOTES PLANTER
V – VOID

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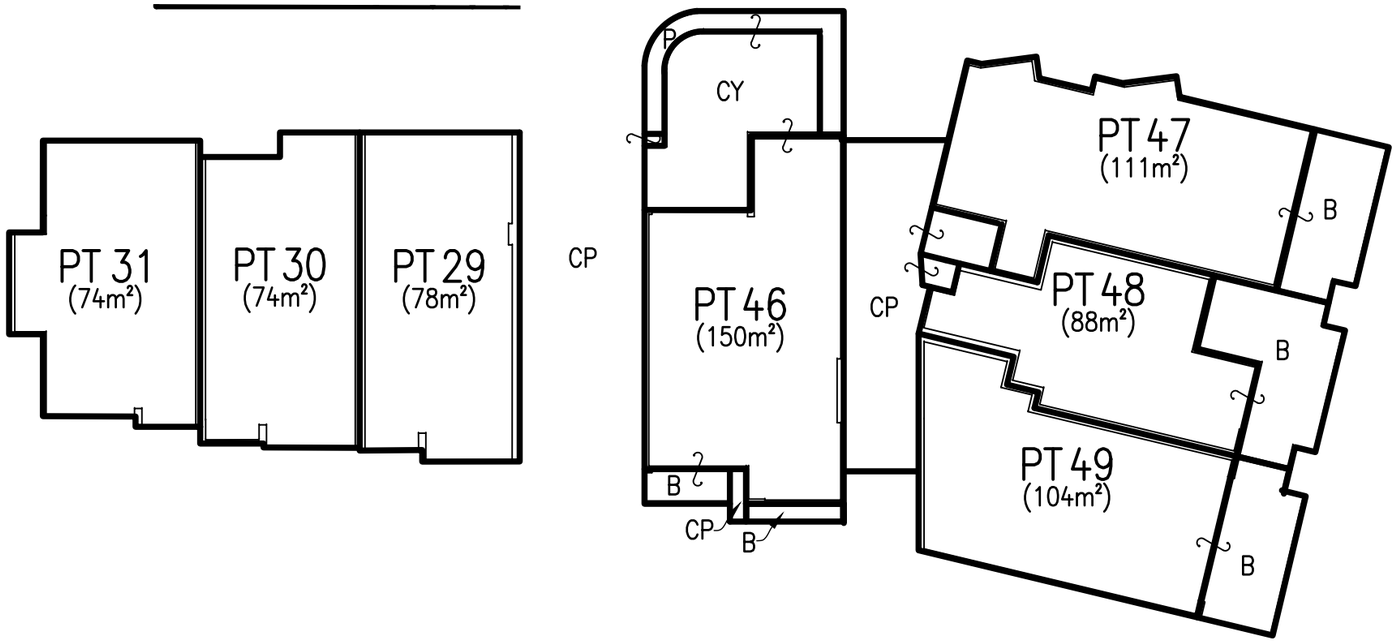
ARCHITECT
DWG No.: 3-201026_HG_OVERALL MARKETING_LEVEL GROUND_DWG FOR STRATA
RECEIVED: 26 OCT 2020

GROUND LEVEL

CONTINUED FROM SHEET 6



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CY – DENOTES COURTYARD
D – DECK
P – DENOTES PLANTER
V – DENOTES VOID

Name: ADAM RICHARDSON Date: XX/XXX/XX Reference: 170224 DSP	PLAN OF SUBDIVISION OF 1–21 DILLWYNNIA GROVE	LGA: SUTHERLAND SHIRE Locality: HEATHCOTE Reduction Ratio: 1:250 Lengths are in metres.	REGISTERED **CONTRACT PLAN** Plan compiled from architectural CAD data. Plan is subject to final survey after completion of construction.	**DRAFT** PRINTED 23 NOV 2020 ISSUE 10

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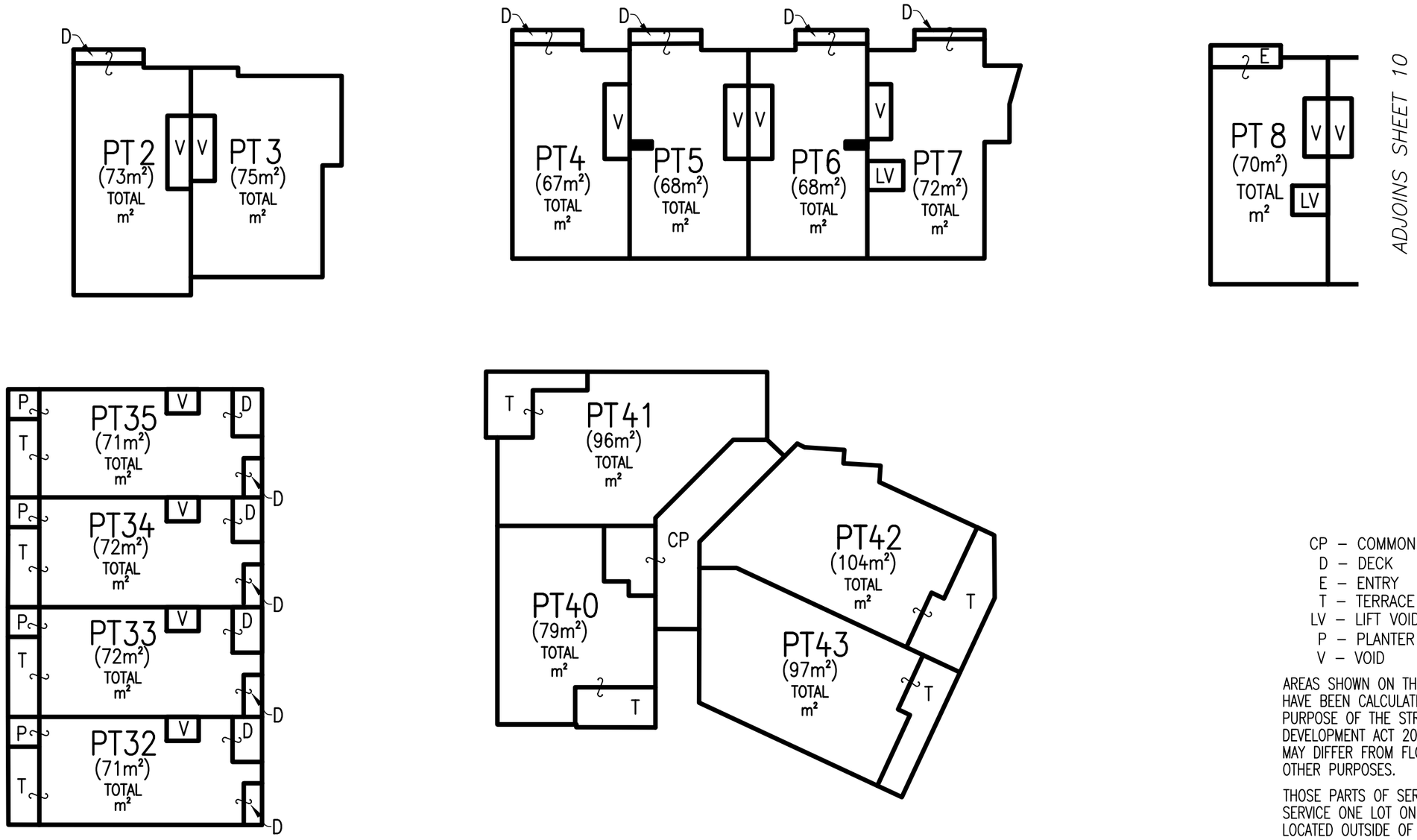
ARCHITECT
DWG No.: 4-201026_HG_OVERALL MARKETING_LEVEL 1_DWG FOR STRATA
RECEIVED: 26 OCT 2020

LEVEL 1



CP – COMMON PROPERTY
D – DECK
E – ENTRY
T – TERRACE
LV – LIFT VOID
P – PLANTER
V – VOID

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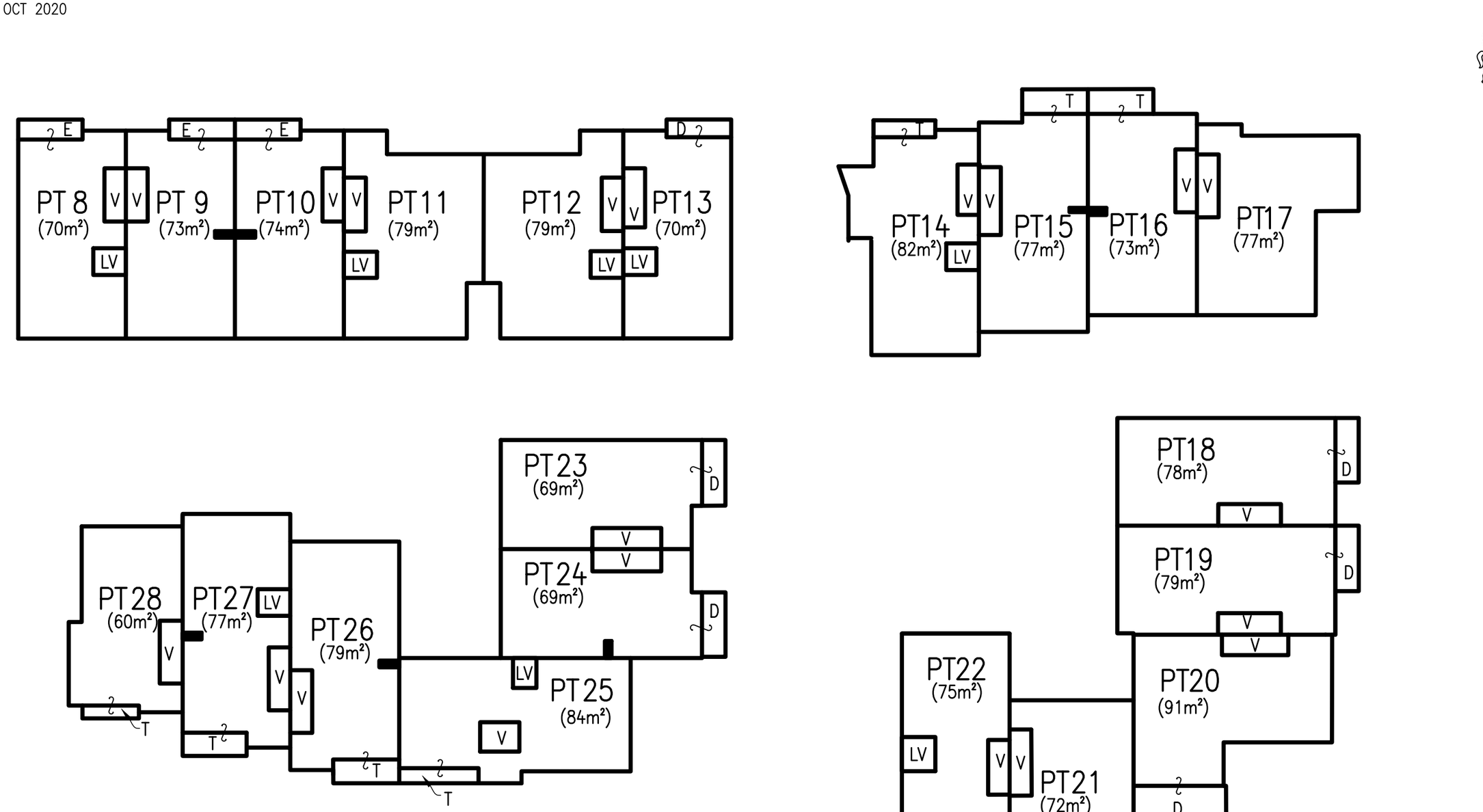
ARCHITECT
DWG No.: 4-201026_HG_OVERALL MARKETING_LEVEL 1_DWG FOR STRATA
RECEIVED: 26 OCT 2020

LEVEL 1



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E – ENTRY
T – TERRACE
LV – LIFT VOID
P – PLANTER
V – VOID

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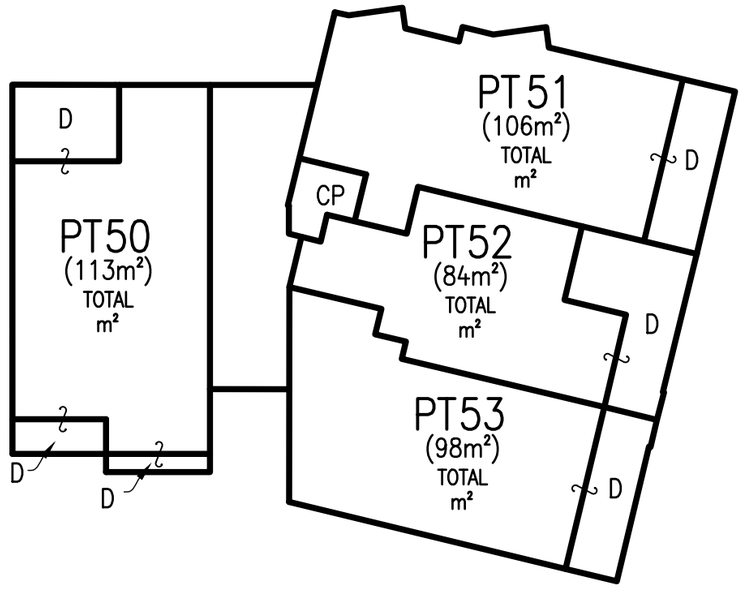
DWG No.: 4-201026_HG_OVERALL MARKETING_LEVEL 1_DWG FOR STRATA
RECEIVED: 26 OCT 2020

LEVEL 1

ADJOINS SHEET 9



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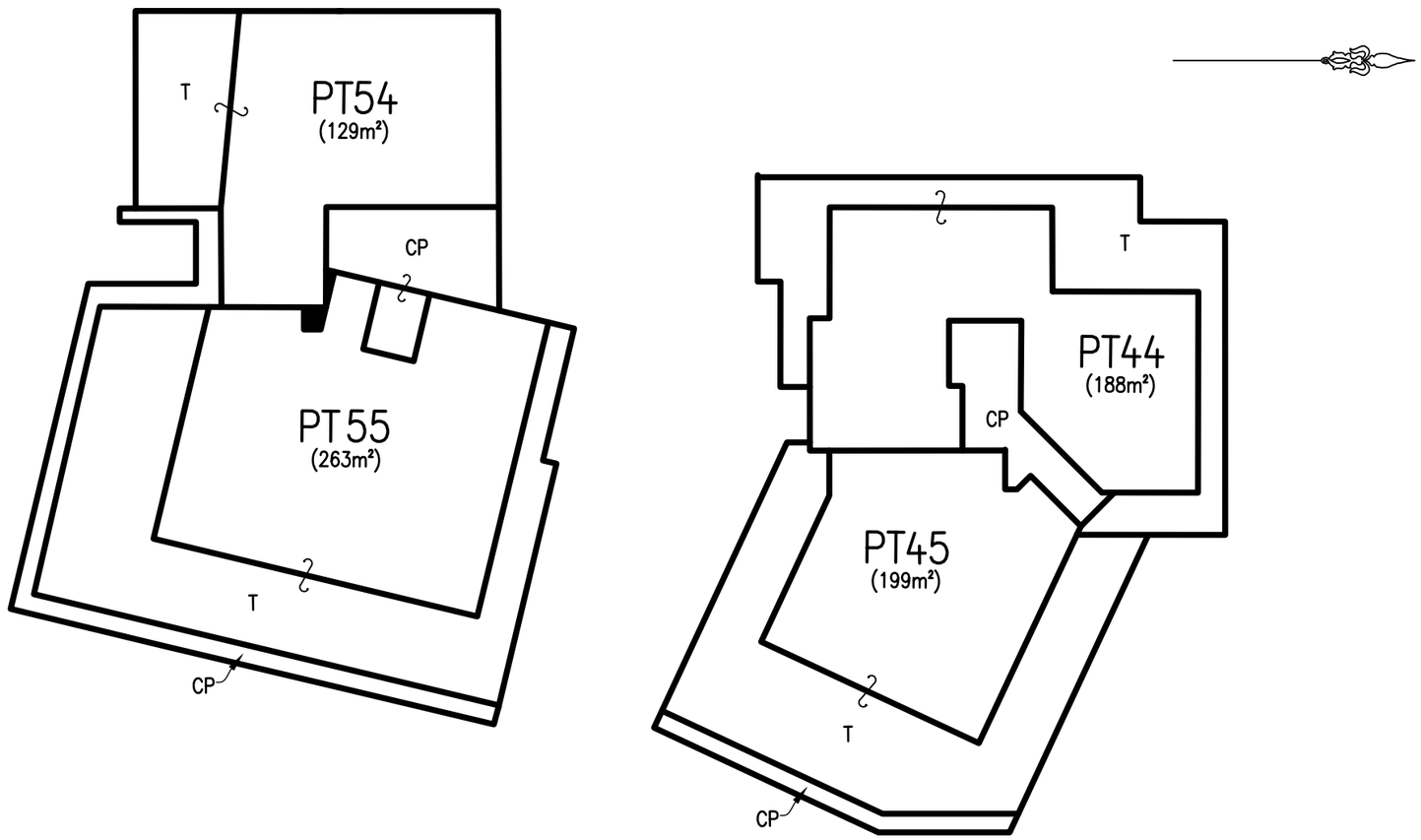
THIS PLAN IS BASED ON PLANS BY
ARCHITECT
DWG No.: 5-201029_HG_OVERALL MARKETING_LEVEL 2_DWG FOR STRATA
RECEIVED: 5 NOV 2020

LEVEL 2



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CP – COMMON PROPERTY
T – TERRACE

Name: ADAM RICHARDSON Date: XX/XXX/XX Reference: 170224 DSP	PLAN OF SUBDIVISION OF 1–21 DILLWYNNIA GROVE	LGA: SUTHERLAND SHIRE Locality: HEATHCOTE Reduction Ratio: 1:250 Lengths are in metres.	REGISTERED **CONTRACT PLAN** Plan compiled from architectural CAD data. Plan is subject to final survey after completion of construction.	**DRAFT** PRINTED 23 NOV 2020 ISSUE 10

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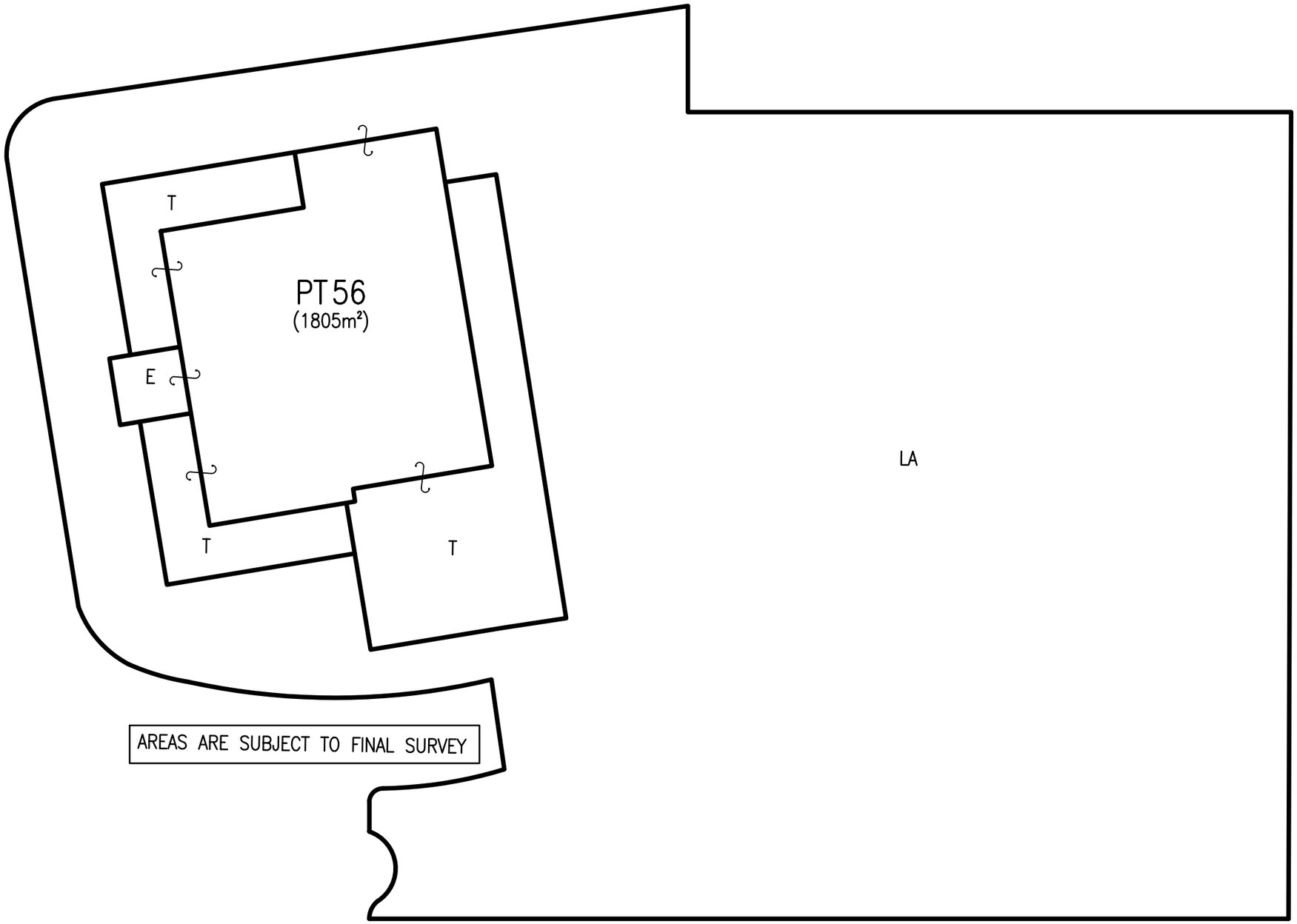
ARCHITECT
DWG No.: 08 FIRST FLOOR PLAN
RECEIVED: 1 SEPT 2020

GROUND LEVEL – HALL

AREAS ARE SUBJECT TO FINAL SURVEY



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LA – LANDSCAPE AREA
E – ENTRY
T – TERRACE

Name: ADAM RICHARDSON Date: XX/XXX/XX Reference: 170224 DSP	PLAN OF SUBDIVISION OF 1–21 DILLWYNNIA GROVE	LGA: SUTHERLAND SHIRE Locality: HEATHCOTE Reduction Ratio: 1:200 Lengths are in metres.	REGISTERED **CONTRACT PLAN** Plan compiled from architectural CAD data. Plan is subject to final survey after completion of construction.	**DRAFT** PRINTED 23 NOV 2020 ISSUE 10

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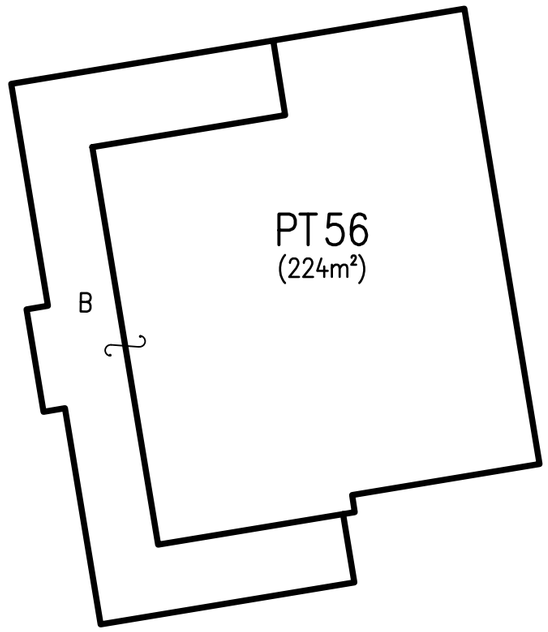
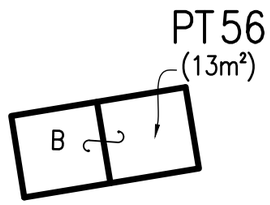
THIS PLAN IS BASED ON PLANS BY
ARCHITECT
DWG No.: 08 FIRST FLOOR PLAN
RECEIVED: 1 SEPT 2020

AREAS ARE SUBJECT TO FINAL SURVEY

LEVEL 1 – HALL



LEVEL 2 – HALL



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B – BALCONY

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