

Development Application

Demolition and Construction of a Purpose Built Car Showroom

54-72 Church Street
Parramatta NSW 2150

Drawing List

Dwg No.	Drawing Title
DA000	Cover Sheet
DA001	Site and Analysis Plan
DA098	Basement 2 Plan
DA099	Basement 1 Plan
DA100	Ground Floor Plan
DA101	First Floor Plan
DA102	Second Floor Plan
DA103	Roof Plan
DA200	West - Church Street Elevation
DA201	East - Anderson Street Elevation
DA202	North & South Elevation
DA205	Streetscape Elevation
DA300	Sections
DA301	Sections
DA305	Detailed Section
DA310	Shadow Diagrams
DA500	Notification Plan
DA800	Church Street Photomontage
DA801	Anderson Street Photomontage

PLEASE READ IN CONJUNCTION WITH CONSULTANT'S DOCUMENTATION.

LEVEL	GROSS FLOOR AREA
BASEMENT 2	2370 sq.m
BASEMENT 1	575 sq.m
GROUND	2980 sq.m
LEVEL 1	3630 sq.m
LEVEL 2	653 sq.m
ROOF	NA
TOTAL	10,208 sq.m
ALLOWABLE	10,640 sq.m
UN-USED	595 sq.m
SITE AREA	5320 sq.m
FSR	1.9 : 1

NOTE: 100 REQUIRED CAR SPACES PROVIDED (SHOWN ON B1 & B2)

- NO PUBLIC ACCESS TO SECOND AND ROOF LEVELS

Consultant List

Submission to be read in conjunction with Consultant's Documentation

Applicant	Council	Planner	Quantity Surveyor	Fire Consultant	Landscape Architect	BCA Consultant	3D Consultant	Environmental Consultant
Manson Group Pty Ltd	Parramatta City Council	Mersonn Pty Ltd	WT Partnership	EXOVA Warrington Fire	Outdoor Interests	EXOVA Warrington Fire	PODGROUP	AARGUS Australia
26a Production Ave Kogarah Sydney NSW 2217	30 Darcy Street, Parramatta NSW 2150	Unit 6, 20 Wylde Street Polts Point NSW 2011	L24 100 Miller Street North Sydney NSW 2060	L20 44 Market Street Sydney NSW 2000	PO Box 5054 Turrumurra NSW 2074	L20 44 Market Street Sydney NSW 2000	20 Dale Street Brookdale NSW 2100	PO Box 398 Drummoyne NSW 1470
P: 02 9587 9600 F: 029587 6433 E: am@mangroup.com	P: 02 9806 5524	P: 02 9326 9962 F: 02 9383 8992 E: andrew@mersonn.com.au	P: 02 9829 7422 F: 02 9957 3161 E: sydney@wtpartnership.net.au	P: 02 8270 7804 F: 02 9299 6076 E: peter.gardner@exova.com	M: 0413 270 224 E: info@outdoorinterests.com.au	P: 02 8270 7804 F: 02 9299 6076 E: peter.gardner@exova.com	P: 02 9939 1199 F: 02 9939 3184 E: pod@podgroup.com.au	P: 1300 137 138 F: 1300 136 038 E: admin@aargus.net
Surveyor	Hydraulic Engineer	Flood Specialist	Traffic Engineer	Environmental Engineer	Site Waste Engineer	Access Consultant	Site Waste Engineer (Demolition & Construction)	
Hard & Forester	CPM Engineering	Cardno Pty Ltd	Transport & Traffic Planning Associates	VIM Sustainability Pty Ltd	Waste Audit and Consultancy Services	Accessibility Solutions Pty Ltd	Antoun Civil Engineering	
23-25 Frederick Street Rockdale Sydney NSW 2216	PO Box 1050 Sutherland NSW 1499	Level 3, 910 Pacific Hwy Gordon NSW 2072	Suite 502, L5, 282 Victoria Ave Chatswood NSW 2067	75-85 O'Riordan Street Alexandria NSW 2015	PO Box 1667 Rozelle NSW 2039	20 Begonia Street Alexandria NSW 2015	19-21 Cann Street Guildford NSW 2161	
P: 02 9597 9700 F: 02 9599 2146 E: survey@hardforester.com.au	P: 02 9545 2922 M: 0412 401 282 E: cpmeng@optusnet.com.au	P: 02 9496 7700 F: 02 9499 3033 E: sydney@cardno.com.au	P: 02 9411 5660 F: 02 9904 6622 E: tpa@tpa.com.au	P: 02 8338 9655 F: 02 8338 1022 E: johnbrodie@vim.net.au	P: 029818 8267	P: 02 9695 1940 F: 02 9695 1906 E: markref@bigpond.com	P: 02 9681 5666 F: 02 9892 1825 E: info@antouncivil.com.au	

1	23/11	Approved to DA for construction
2	30/11	DA SCALE
DATE	DATE	REVISION

NOTE: DO NOT SCALE DIMENSIONS. USE FIGURED DIMENSIONS ONLY. CHECK ALL DIMENSIONS ON A 1:10 SCALE BEFORE ANY ANTI-CORROSION CONSTRUCTION.

PROJECT CAR SHOWROOM 54-72 CHURCH ST

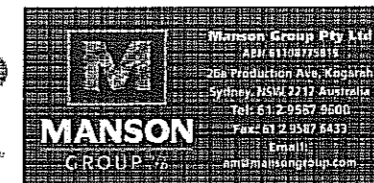
MANSON GROUP

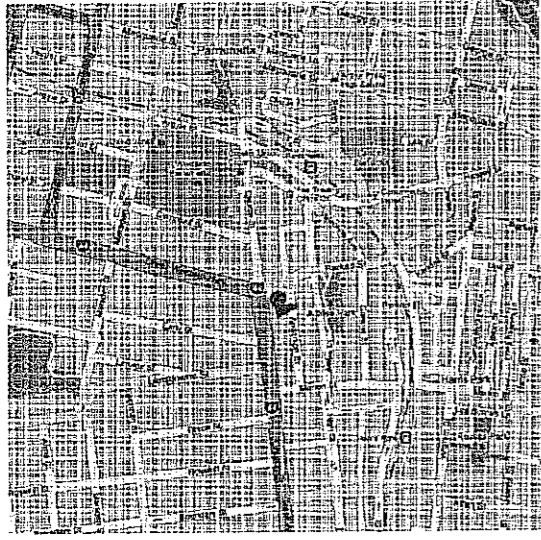
COVER SHEET

Baker Kavanagh architects

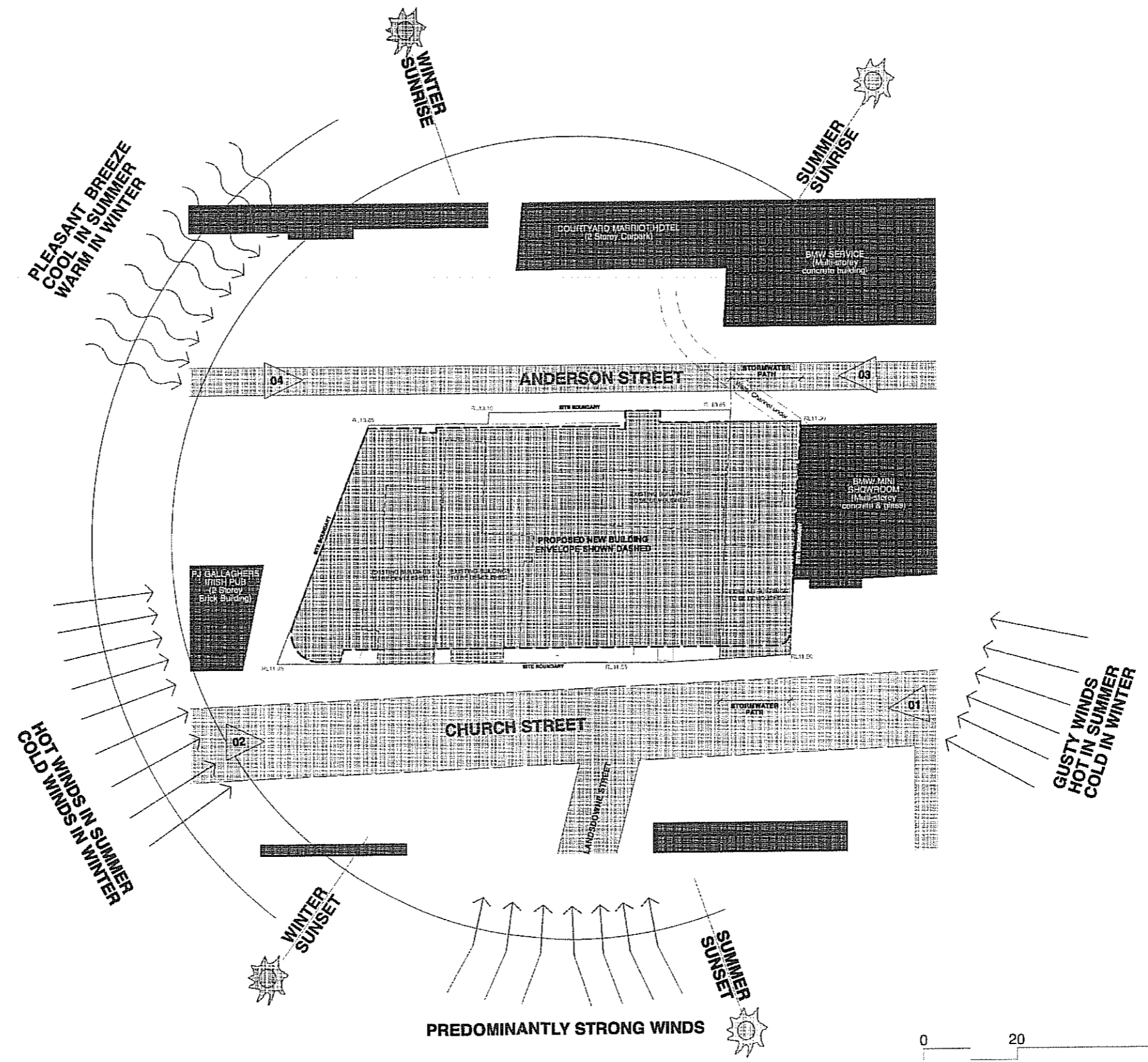
PROJECT #	09102	DATE	March 2011	REV	DA 000 B
DATE	March 2011	SCALE	NTS		
DATE					
DATE					

Baker Kavanagh Architects L3 729 Elizabeth St Zealand
T: 612 9218 9200 F: 612 9218 9222 W: www.bka.com.au E: bka@bka.com.au





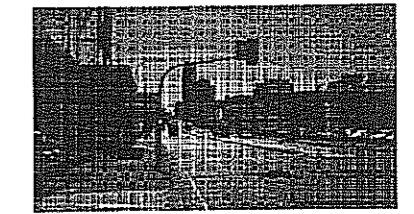
LOCATION PLAN



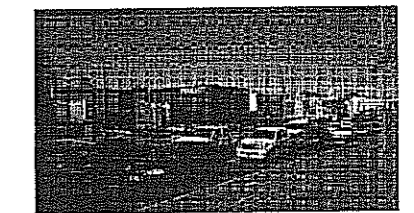
DA001 SITE AND ANALYSIS PLAN
1 : 500 @ A1



PLEASE READ IN CONJUNCTION WITH CONSULTANT'S DOCUMENTATION.



1. EXISTING SITUATION LOOKING NORTH ON CHURCH STREET



2. EXISTING SITUATION LOOKING SOUTH ON CHURCH STREET



3. EXISTING SITUATION LOOKING NORTH ON ANDERSON STREET



4. EXISTING SITUATION LOOKING SOUTH ON ANDERSON STREET

C	20/11	Auto Showrooms DA & E-Plan Project
D	26/11	DA ISSUE
A	26/11	PRE DA ISSUE
DATE	REVISION	

NOTE: DESIGN SHALL BE IN ACCORDANCE WITH THE LOCAL COUNCIL'S DEVELOPMENT CONTROL REGULATIONS AND ALL DIMENSIONS ON SITE SHALL BE TO THE CITY MAP AND LOCAL COUNCIL'S DEVELOPMENT CONTROL REGULATIONS.

CAR SHOWROOM 54-72 CHURCH ST

CLIENT: **MANSON GROUP**

STAFFING: **SITE AND ANALYSIS PLAN**

Baker Kavanagh architects

PROJECT: **09102** DRAWING NO: **DA 001 C**

DATE: **March 2011**

SCALE: **1:500**

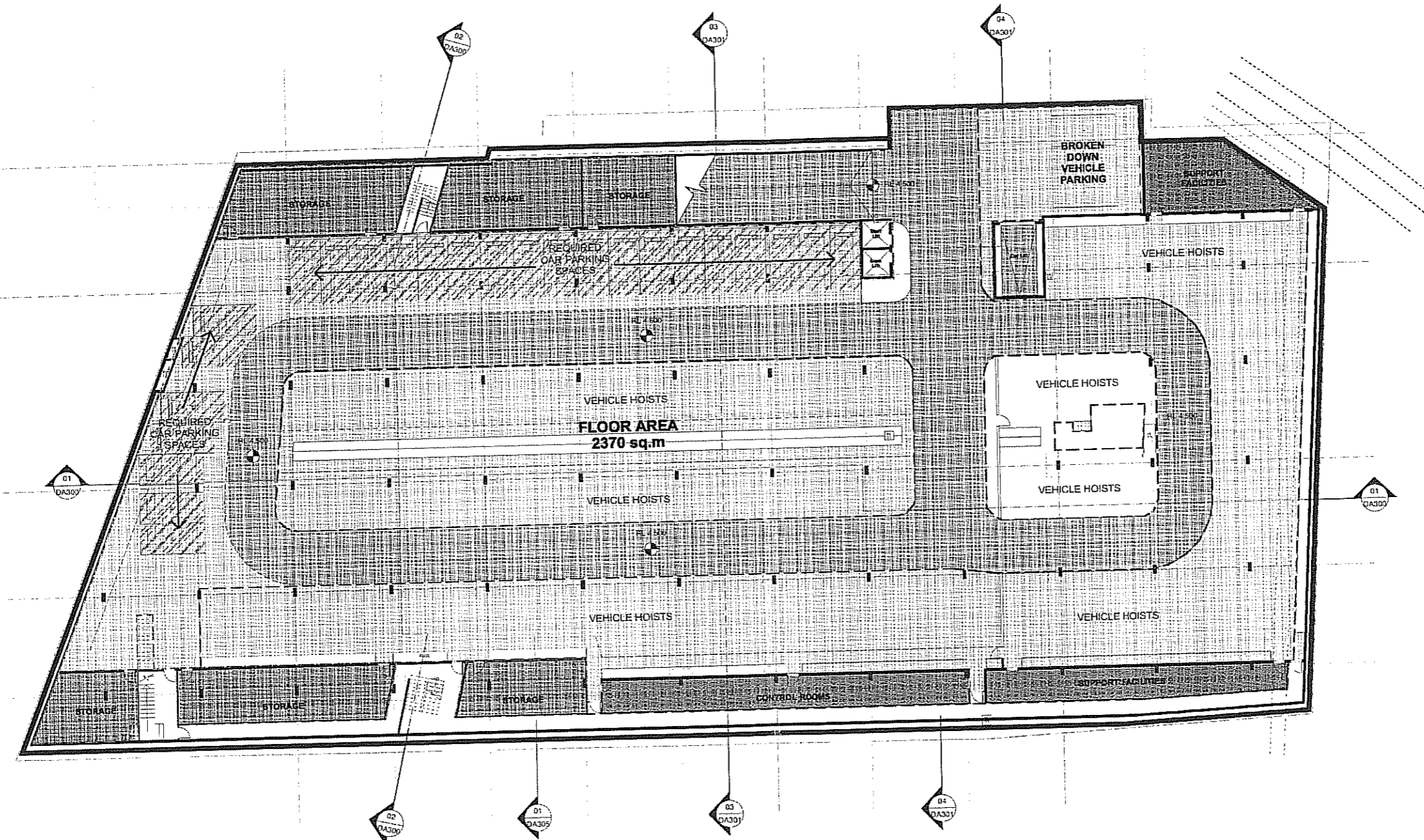
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Baker Kavanagh Architects L3 729 Elizabeth St Zetland
T 612 0315 0200 F 612 0315 0222 W www.bka.com.au E bka@bka.com.au



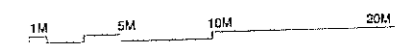
MANSON GROUP

Manison Group Pty Ltd
ABN 61 118774197
250 Princes St, Kogarah
Sydney, NSW 2217, Australia
Tel: 61 2 9587 9600
Fax: 61 2 9587 6413
Email: jane@manisongroup.com



DA098 BASEMENT 2 PLAN
1 : 200 @ A1

- PLAN LEGEND**
- PEDESTRIAN ENTRIES
 - INDICATIVE CAR DIRECTION
 - INCLUSIVE FLOOR AREA
 - EXCLUDED FLOOR AREA (Refer to SEE)
 - STORAGE (Excluded from GFA, refer to SEE)
 - REQUIRED CAR SPACE



REV	DATE	REVISION
B	26/11	APPROVED BY DA TO ADDRESS REQUIREMENTS
C	26/11	ADDITIONAL P.V.C INTERNAL LAYOUT AGRIALITY
S	26/11	DA ISSUE
A	26/11	PRE DA ISSUE

NOTE: (1) NO SCALE - REFER DRAWING USE 1:200 FOR DIMENSIONS ONLY
(2) ALL DIMENSIONS UNLESS OTHERWISE SPECIFIED ARE IN METERS TO FACE UNLESS NOTED OTHERWISE

PROJECT
CAR SHOWROOM 54-72 CHURCH ST

CLIENT
MANSON GROUP

DRAWING
BASEMENT 2 PLAN

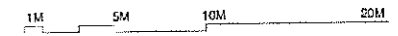
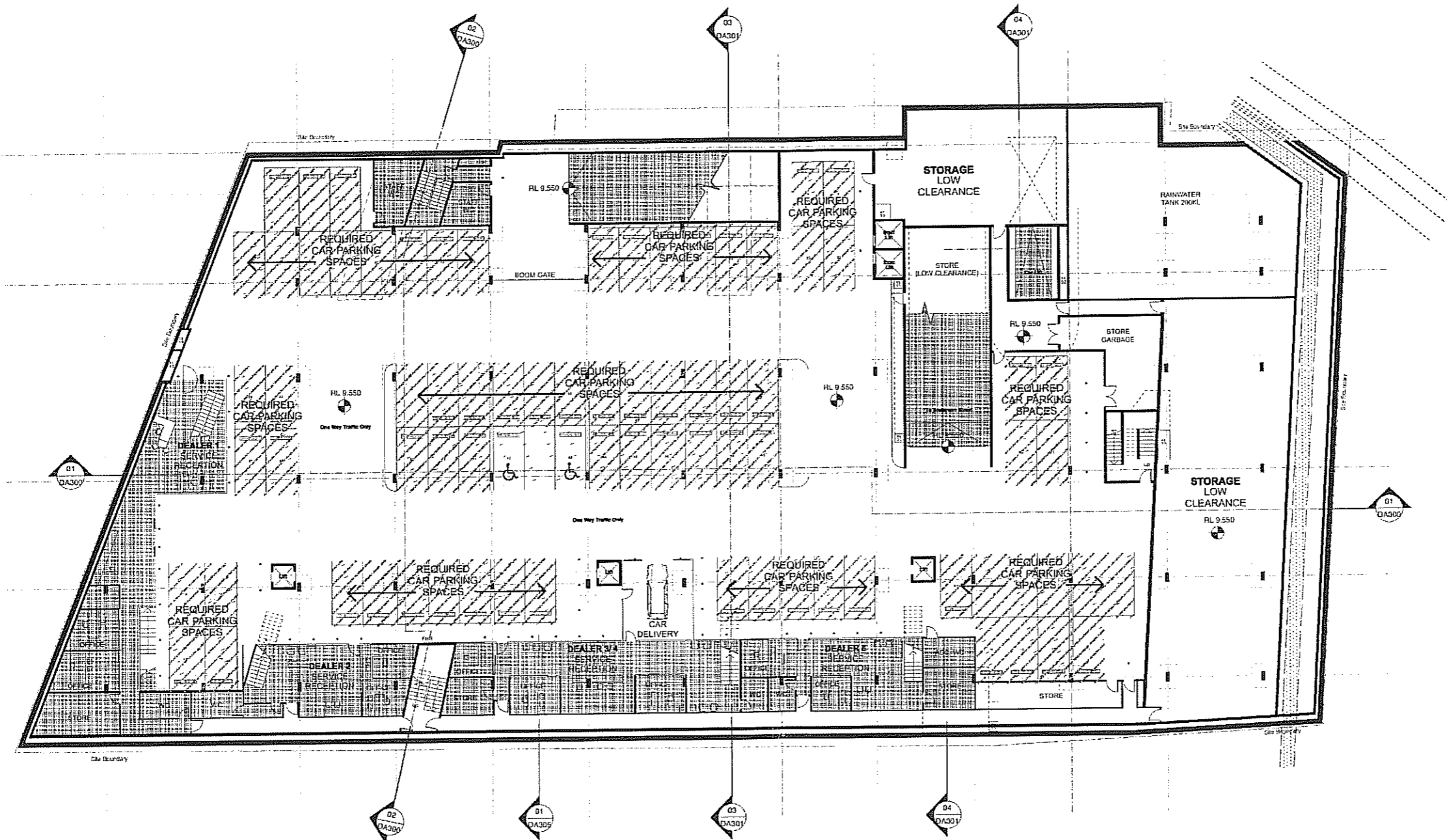
Baker Kavanagh architects

Trivett
Australia's Largest Prestige
Automotive Group

MANSON GROUP Pty Ltd
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260 Production Ave, Kogarah
Sydney, NSW 2217 Australia
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PROJECT # 09102
DATE March 2011
SCALE 1:200
DRAWN BY CT
CHECKED BY
PROJECT DA 098 E

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B	20/11	APPROVED BY DA IN ACCORDANCE WITH
C	16/11	ADDITIONAL PERMITS/NOTICE OF PROVISION
S	30/11	ISSUE
A	20/11	PRE DA ISSUE
REV	DATE	REVISION

NOTE: THIS DRAWING IS FOR INFORMATION ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN APPROVAL OF BAKER KAVANAGH ARCHITECTS.

CAR SHOWROOM 54-72 CHURCH ST

CLIENT: **MANSON GROUP**

BASEMENT 1 PLAN



PROJECT #	09102	DATE	March 2011
DATE	March 2011	SCALE	1:200
DATE	1:200	PROJECT	DA 099 E
DATE	CT	DATE	

DA099 BASEMENT 1 PLAN
1 : 400 @ A3

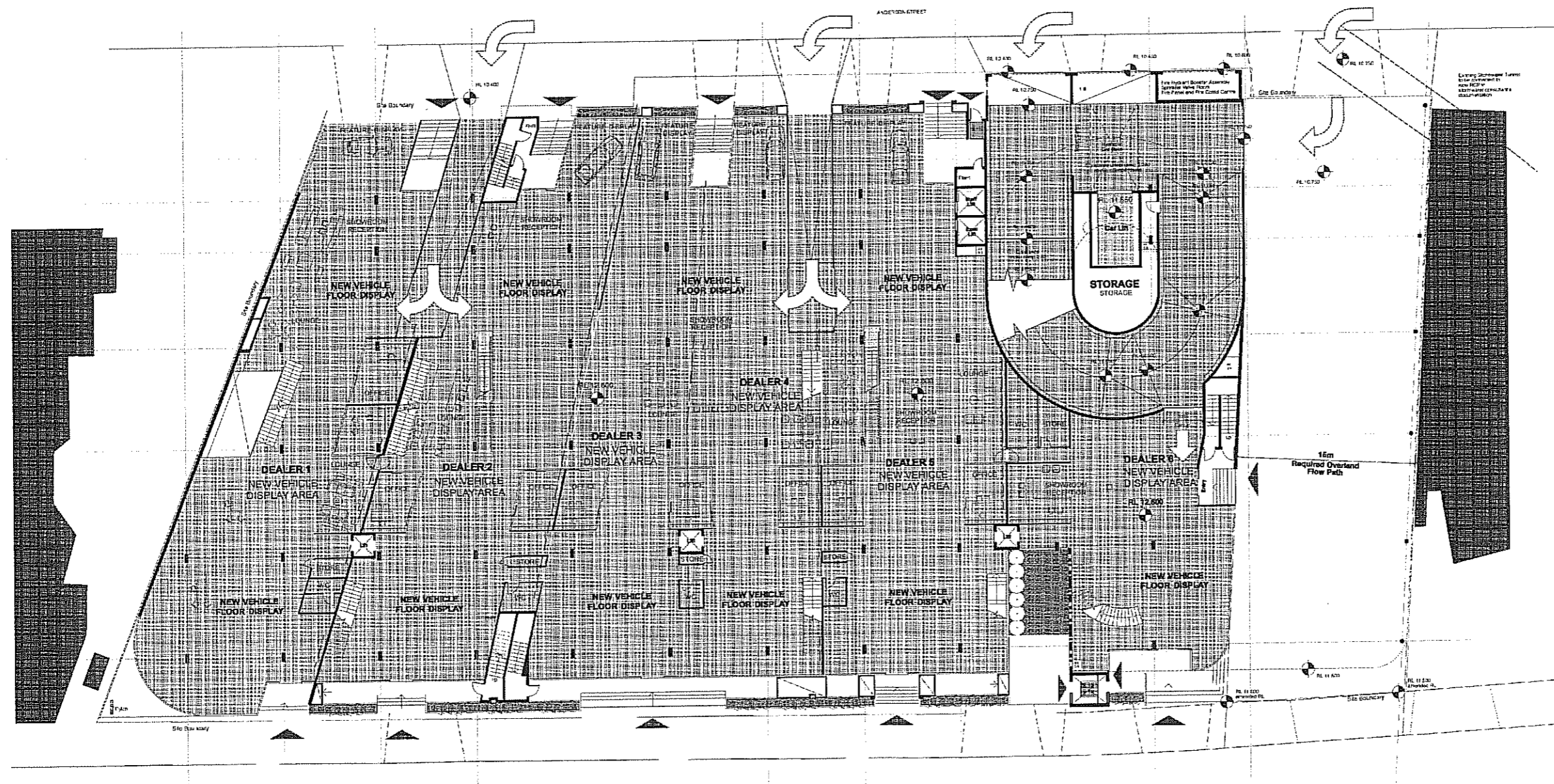
PLAN LEGEND	
	PEDESTRIAN ENTRIES
	INDICATIVE CAR DIRECTION
	INCLUSIVE FLOOR AREA
	EXCLUDED FLOOR AREA (Refer to SEE)
	STORAGE (Excluded from GFA, refer to SEE)
	REQUIRED CAR SPACE



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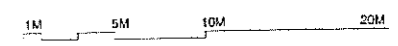
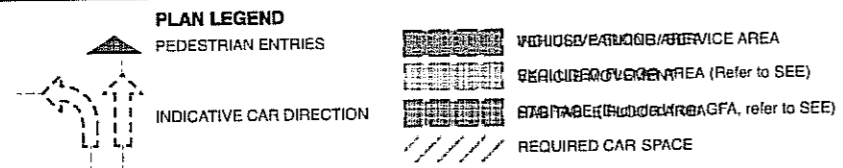
ANDERSON STREET



CHURCH STREET



DA100 GROUND FLOOR PLAN
1:200 @ A1



D	20/11	AMENDED E.D. IN PLANNING DEPARTMENT
C	16/11	ADDITIONAL PHOTO METEOROLOGICAL STATISTICS
S	30/11	DA ISSUE
A	28/11	PRE DA ISSUE
DATE	DATE	REVISION

NOTE: ALL WORK SHALL BE UNDERTAKEN BY THE CONTRACTOR IN ACCORDANCE WITH THE LOCAL ACTS AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE LOCAL AUTHORITY AND OTHER RELEVANT AGENCIES.

CAR SHOWROOM 54-72 CHURCH ST

CLIENT: MANSON GROUP

GROUND FLOOR PLAN

Baker Kavanagh architects



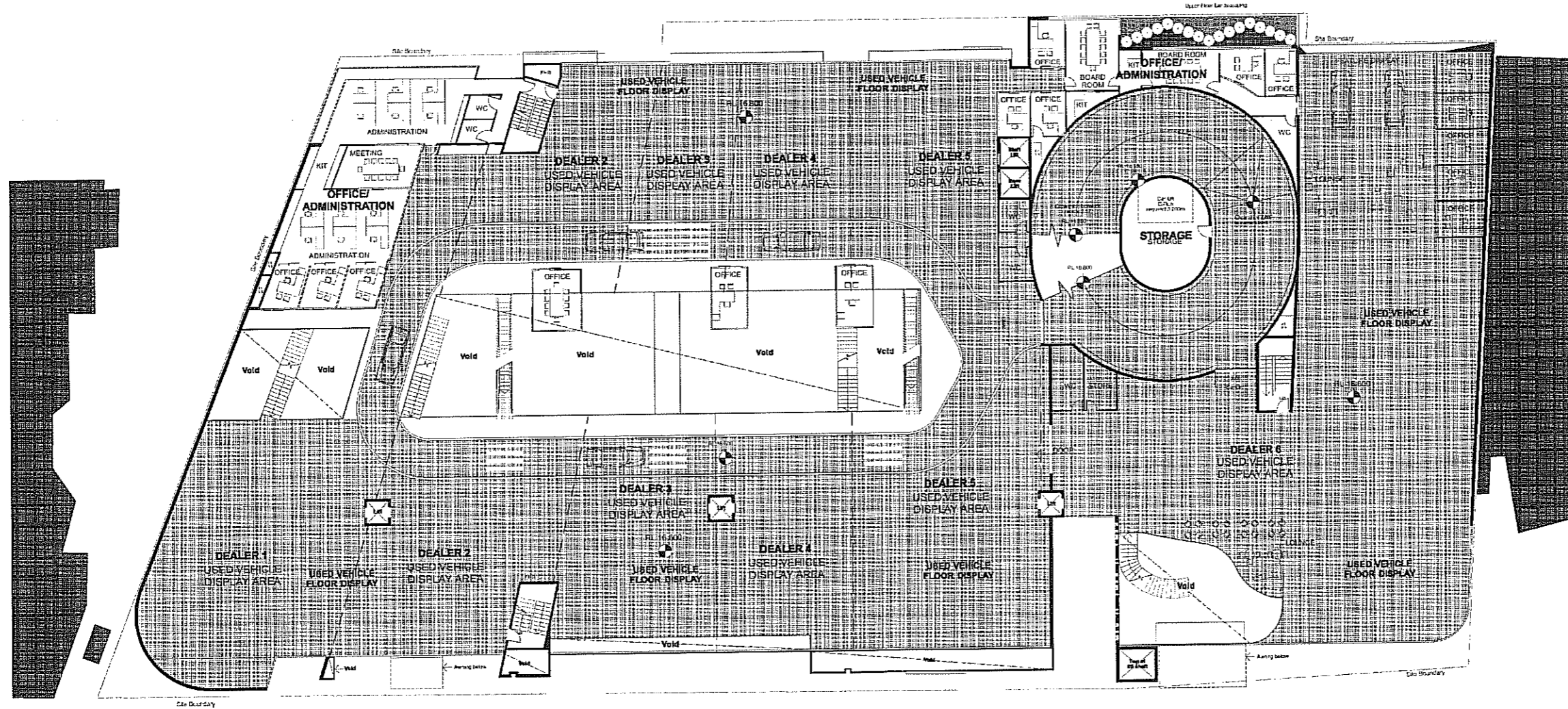
MANSON GROUP

Manson Group Pty Ltd
ABN 11 150723616
7/4 Production Ave, Kogarah
Sydney, NSW 2217 Australia
Tel: 61 2 9587 9600
Fax: 61 2 9587 8413
Email: am@mansongroup.com

PROJECT #	09102	DATE	REV
DATE	March 2011	DA 100 E	
SCALE	1:200		
DATE	04/03		
SCALE	CT		

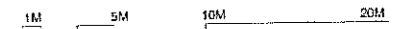
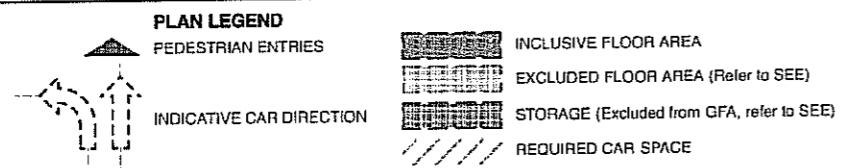
Baker Kavanagh Architects L3 729 Elizabeth St Zetland
T: 61 2 9218 0200 F: 61 2 9218 0222 W: www.bka.com.au E: bka@bka.com.au

ANDERSON STREET



CHURCH STREET

DA101 FIRST FLOOR PLAN
1:200 @ A1



D	25/11	APPROVED BY DA TO ARCHITECT
C	16/11	ADDITIONAL ARCHITECTURAL ADAPTATION
B	24/11	DA ISSUE
A	25/11	PRE DA ISSUE
DATE	DATE	REVISION

NOTE: THIS PLAN IS A PRELIMINARY DESIGN AND SHOULD NOT BE USED FOR CONSTRUCTION WITHOUT THE ARCHITECT'S APPROVAL.

CAR SHOWROOM 54-72 CHURCH ST

CLIENT
MANSON GROUP

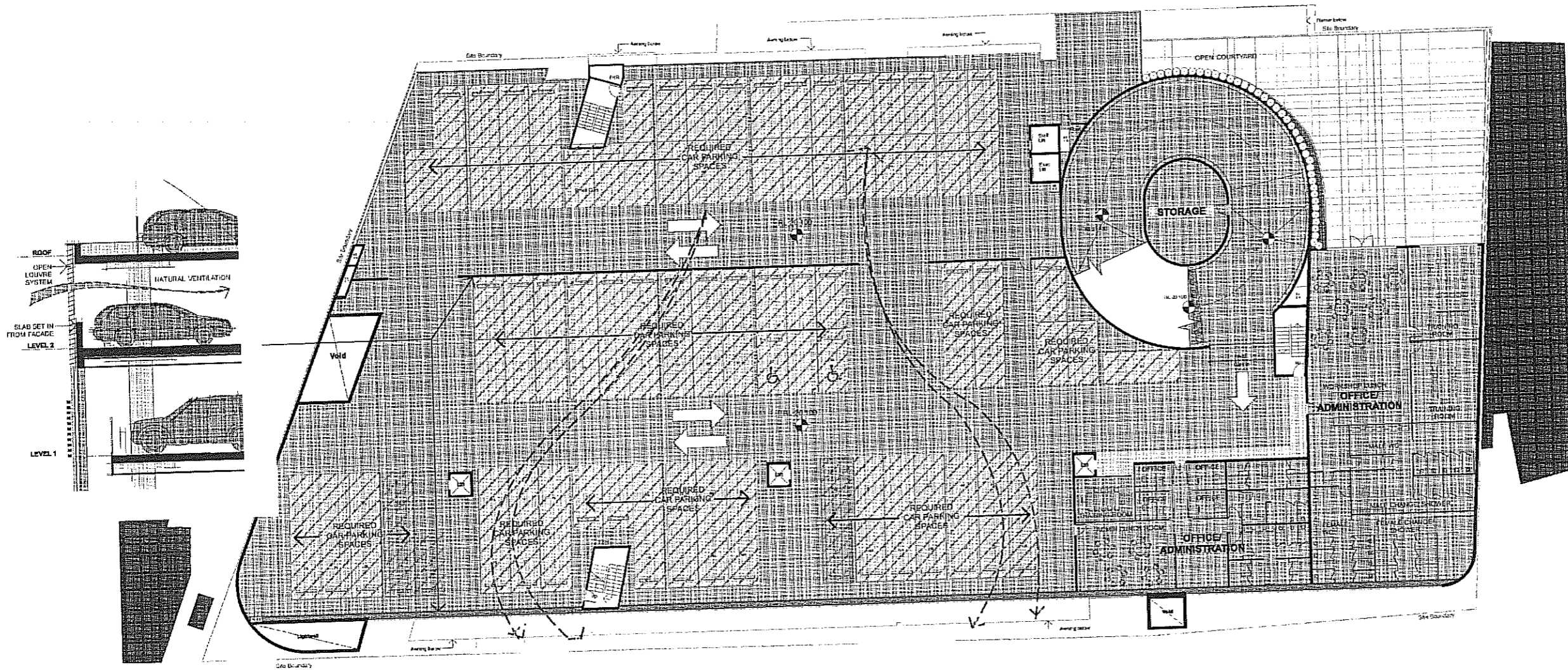
DRAWING
FIRST FLOOR PLAN



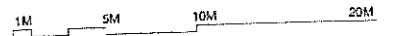
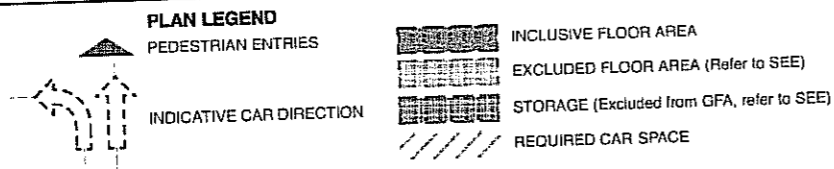
PROJECT #	09102	DATE	REV
DATE	March 2011		
SCALE	1:200		DA 101 E
BY	CT		

ANDERSON STREET

CHURCH STREET



DA102 SECOND FLOOR PLAN
1 : 200 @ A1



L	14/07/11	AMENDMENT TO DA TO ADDRESS PARKING
D	20/07/11	APPROVAL TO DA BY BAKER KAVANAGH
C	16/07/11	ADDITIONAL PRELIMINARY NOTICES
S	30/07/11	DA ISSUE
A	20/11/11	FIRE DAMAGE

NOTE: SEE PRELIMINARY NOTICES FOR FURTHER INFORMATION.
CHECK ALL DIMENSIONS TO THE WALLS AND MARKINGS TO THE PLAN.

PROJECT: **CAR SHOWROOM 54-72 CHURCH ST**

CLIENT: **MANSON GROUP**

DRAWING: **SECOND FLOOR PLAN**

Baker Kavanagh architects



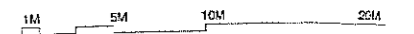
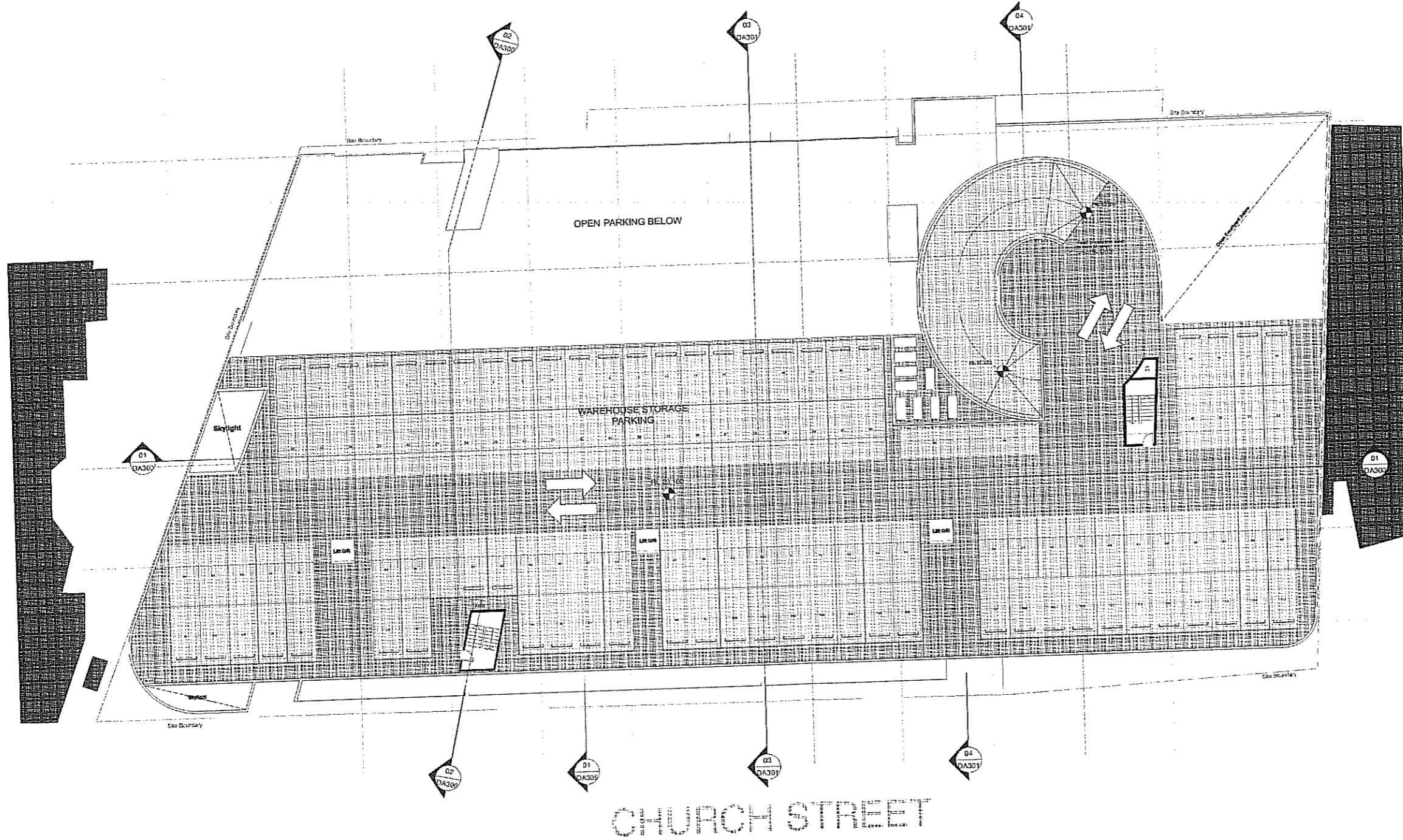
MANSON GROUP

Manson Group Pty Ltd
ABN 61164725419
280 Production Ave, Kogarah
Sydney, NSW 2217 Australia
Tel: 61 2 9597 9000
Fax: 61 2 9597 6433
Email: info@mansongroup.com

PROJECT: **09102**
DATE: **March 2011**
SCALE: **1:200**
DRAWING: **DA 102 E**

Baker Kavanagh Architects L3 729 Elizabeth St Zetland
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ANDERSON STREET



REV	DATE	DESCRIPTION
L	14/12/11	AMENDMENT TO DA TO ADDRESS PARKING
D	28/11/11	AMENDMENT TO DA TO ADDRESS HEIGHT ISSUE
C	16/11/11	ADDITIONAL IM/C DIFFERENTIAL HEIGHTS
B	30/11/11	DA ISSUE
A	28/11/11	PRE DA ISSUE

NOTE: DIMENSIONS SHALL TAKE PRECEDENCE OVER GRAPHICAL REPRESENTATION. CHECK ALL DIMENSIONS ON THE DRAWING AND MAKE ANY NECESSARY CORRECTIONS.

PROJECT: CAR SHOWROOM 54-72 CHURCH ST

CLIENT: MANSON GROUP

DRAWING: ROOF PLAN

DA103 ROOF PLAN
1:200 @ A1

PLAN LEGEND

- PEDESTRIAN ENTRIES
- INDICATIVE CAR DIRECTION
- INCLUSIVE FLOOR AREA
- EXCLUDED FLOOR AREA (Refer to SEE)
- STORAGE (Excluded from GFA, refer to SEE)
- REQUIRED CAR SPACE



MANSON GROUP

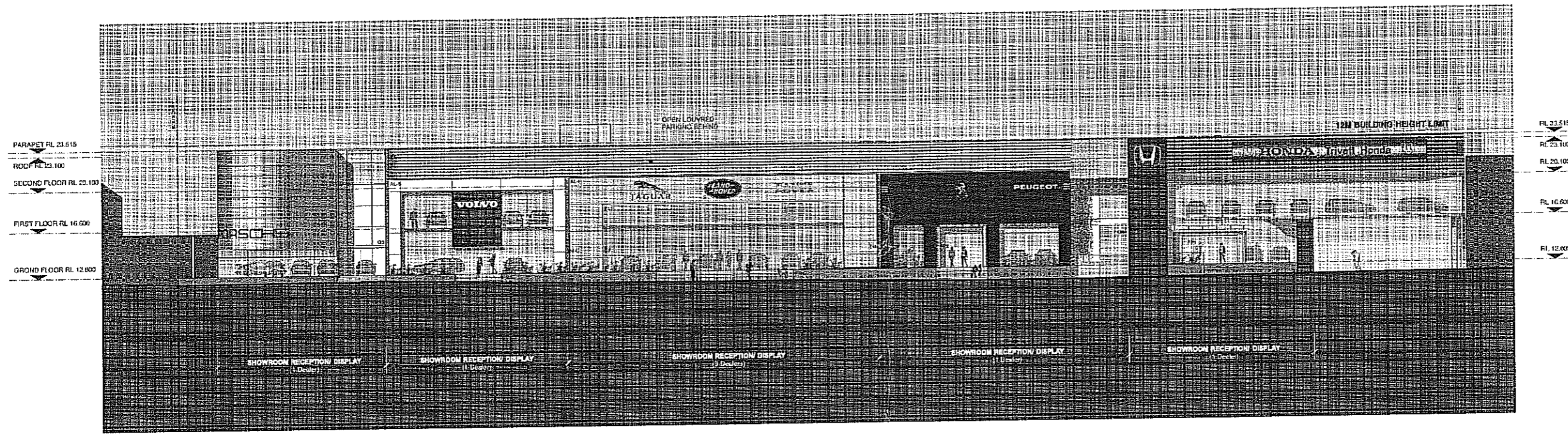
Manson Group Pty Ltd
ABN 6110773118
26a Rippon Road, Rydalmere
Sydney, NSW 2117 Australia
Tel: 61 2 9587 9600
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Email: info@mansongroup.com
www.mansongroup.com

Baker Kavanagh architects

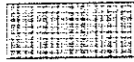




PROJECT #	09102	DATE		REV	
DATE	March 2011				
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SCALE	CT				

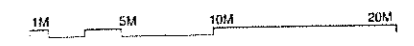
Baker Kavanagh Architects L3 729 Elizabeth Street
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PLEASE READ IN CONJUNCTION WITH CONSULTANT'S DOCUMENTATION.



BRAND COLOUR LEGEND
(Aluminium Composite Panels)

-  PORSCHE: NATURALLY ANODISED ALUMINIUM
-  VOLVO: VOLVO BLUE
-  JAGUAR/LAND ROVER/RANGE ROVER: IVORY
-  PEUGEOT: PEUGEOT BLUE
-  HONDA: HONDA RED



C	236.11	APPROXIMATE TO DA 10 & 11 FROM PROPOSED
B	236.11	DA 10 & 11
A	236.11	PROJ DA 10 & 11

CAR SHOWROOM 54-72 CHURCH ST

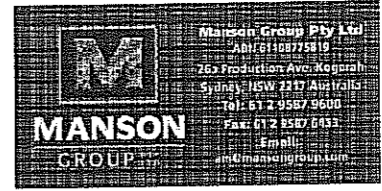
MANSON GROUP

WEST - CHURCH STREET ELEVATION

01 CHURCH STREET ELEVATION
DA200 1:200 @ A1

FACADE MATERIALS LEGEND

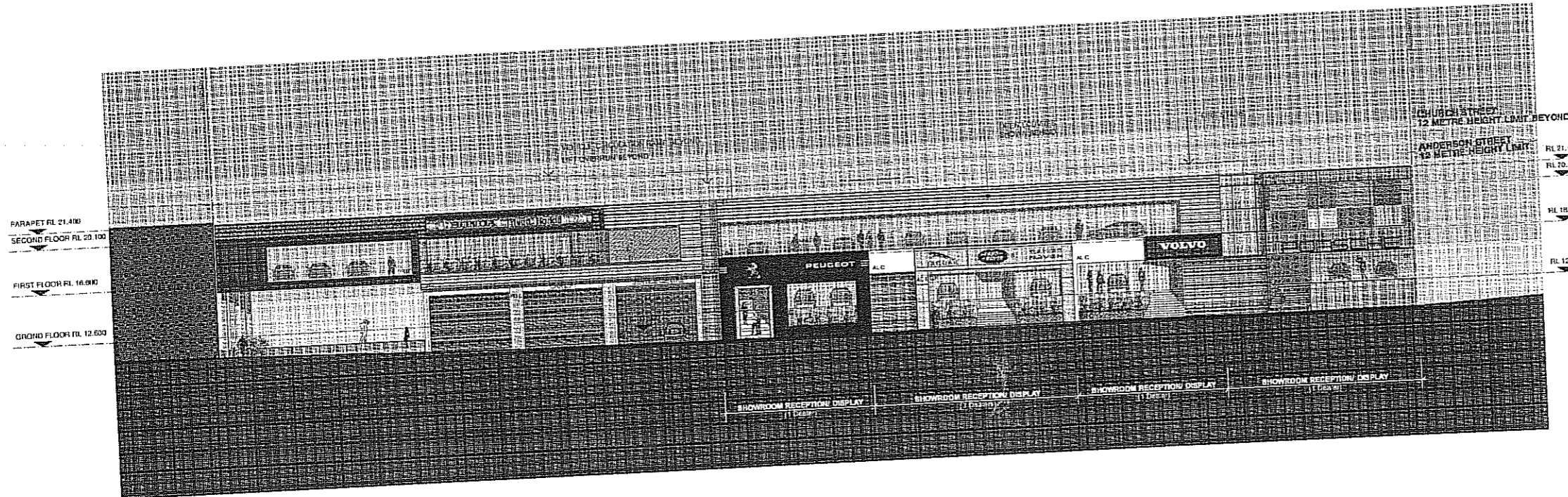
- | | | |
|--|---|--|
| AL ALUMINIUM COMPOSITE PANEL | EL EXTRUDED OPERABLE ALUMINIUM LOUVRES | PR PAINTED RENDER |
| C CREAM | FL1 FEATURE LOUVRES, BEIGE | CR CHARCOAL |
| HR HONDA RED | FL2 FEATURE LOUVRES, ALUMINIUM | LG LIGHT GREY |
| I IVORY | FP1 FEATURE ENTRY PORTAL GLASS & STAINLESS STEEL | HR HONDA RED |
| N NATURALLY ANODISED | FP2 FEATURE ENTRY PORTAL BRUSHED ALUMINIUM | MS ALUMINIUM MESH ROLLER SHUTTER |
| NP NATURALLY ANODISED, PERFORATED | GF FEATURE GLAZING | ST SIGNAGE TO BRAND SPECIFICATION |
| PB PEUGEOT BLUE | GS SPANDREL GLAZING | T TILES, CHARCOAL |
| SS SUNRISE SILVER | P PLANTING TO LANDSCAPE ARCHITECT | TM TRAPEZIUM METAL |
| VB VOLVO BLUE | | C CHARCOAL |
| C SEALED CONCRETE | | L LIGHT GREY |



Baker Kavanagh architects






PROJECT: 09102
DATE: March 2011
SCALE: 1:200
DRAWING: DA 200 C

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01 ANDERSON STREET ELEVATION
DA201 1 : 200 @ A1

BRAND COLOUR LEGEND
(Aluminium Composite Panels)

-  PORSCHE: NATURALLY ANODISED ALUMINIUM
-  VOLVO: VOLVO BLUE
-  JAGUAR/LAND ROVER/RANGE ROVER: IVORY
-  PEUGEOT: PEUGEOT BLUE
-  HONDA: HONDA RED

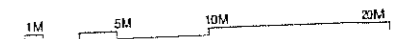
FACADE MATERIALS LEGEND

- AL ALUMINIUM COMPOSITE PANEL
- C CREAM
- HR HONDA RED
- I IVORY
- N NATURALLY ANODISED
- NP NATURALLY ANODISED, PERFORATED
- PB PEUGEOT BLUE
- SS SUNRISE SILVER
- VB VOLVO BLUE
- C SEALED CONCRETE

- EL EXTRUDED OPERABLE ALUMINIUM LOUVRES
- FL1 FEATURE LOUVRES, BEIGE
- FL2 FEATURE LOUVRES, ALUMINIUM
- FP1 FEATURE ENTRY PORTAL
- GLASS & STAINLESS STEEL
- FP2 FEATURE ENTRY PORTAL
- BRUSHED ALUMINIUM
- GF FEATURE GLAZING
- GS SPANDREL GLAZING
- P PLANTING TO LANDSCAPE ARCHITECT

- PR
- C
- L
- R
- RS
- S
- T
- TM
- C
- L

- PAINTED RENDER
- CHARCOAL
- LIGHT GREY
- HONDA RED
- ALUMINIUM MESH ROLLER SHUTTER
- SIGNAGE TO BRAND SPECIFICATION
- TILES, CHARCOAL
- TRAPEZIUM METAL
- CHARCOAL
- LIGHT GREY



DATE	2011	APPROVED BY	DA201
ISSUE	2011	DATE	2011
REV		DESCRIPTION	

CAR SHOWROOM 54-72 CHURCH ST

CLIENT: **MANSON GROUP**

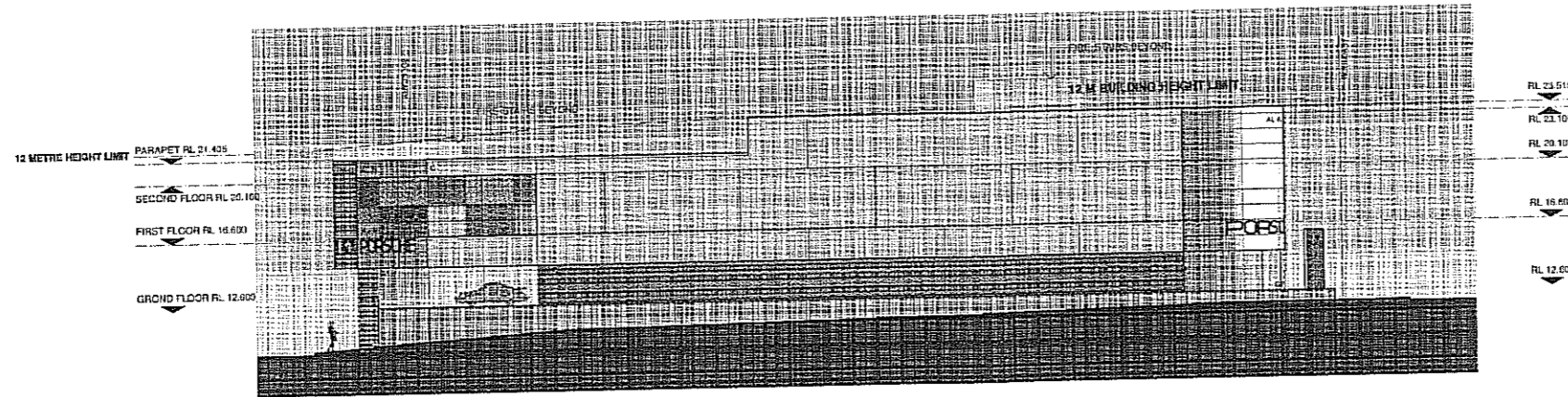
PROJECT: **EAST - ANDERSON STREET ELEVATION**

Baker Kavanagh architects

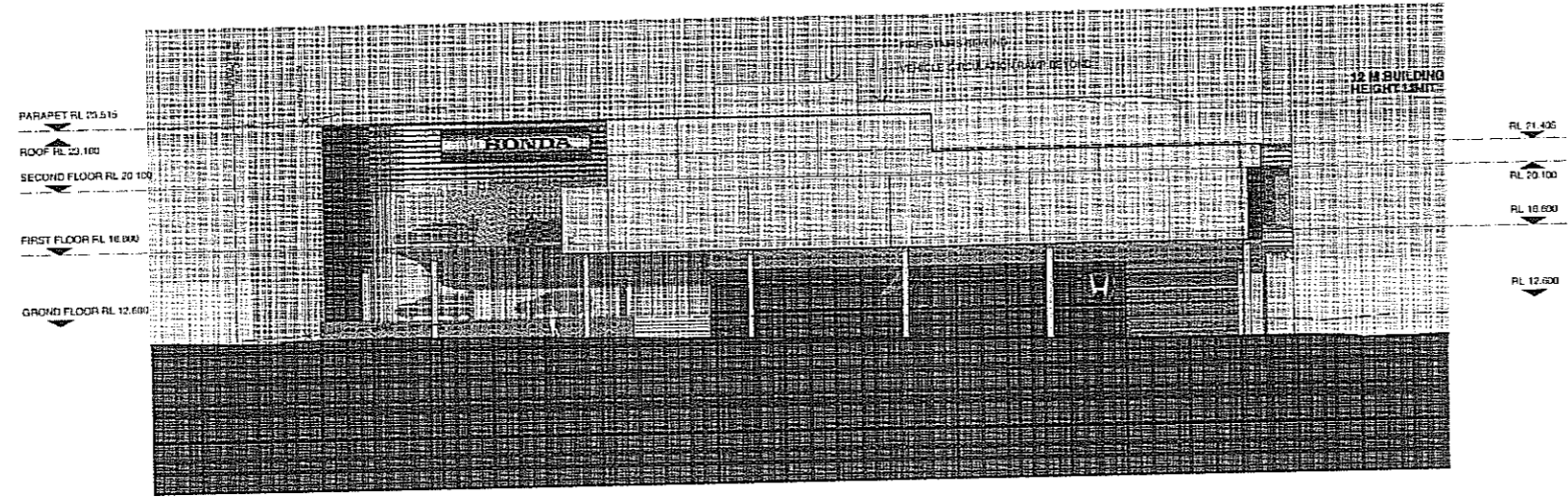
PROJECT: 09102
DATE: March 2011
SCALE: 1:200
DRAWING: DA 201 C

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PLEASE READ IN CONJUNCTION WITH CONSULTANT'S DOCUMENTATION.








01 NORTH ELEVATION
DA202 1 : 200 @ A1



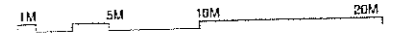
02 SOUTH ELEVATION
DA202 1 : 200 @ A1

BRAND COLOUR LEGEND
(Aluminium Composite Panels)

-  PORSCHE: NATURALLY ANODISED ALUMINIUM
-  VOLVO: VOLVO BLUE
-  JAGUAR/LAND ROVER/RANGE ROVER: IVORY
-  PEUGEOT: PEUGEOT BLUE
-  HONDA: HONDA RED

FACADE MATERIALS LEGEND

- | | | |
|--|---|---|
| AL ALUMINIUM COMPOSITE PANEL | EL EXTRUDED OPERABLE ALUMINIUM LOUVRES | PR PAINTED RENDER |
| C CREAM | FL1 FEATURE LOUVRES, BEIGE | CR CHARCOAL |
| HR HONDA RED | FL2 FEATURE LOUVRES, ALUMINIUM | L LIGHT GREY |
| I IVORY | FP1 FEATURE ENTRY PORTAL | R HONDA RED |
| N NATURALLY ANODISED | G GLASS & STAINLESS STEEL | RS ALUMINIUM MESH ROLLER SHUTTER |
| NP NATURALLY ANODISED, PERFORATED | FP2 FEATURE ENTRY PORTAL | S SIGNAGE TO BRAND SPECIFICATION |
| PB PEUGEOT BLUE | B BRUSHED ALUMINIUM | T TILES, CHARCOAL |
| SS SUNRISE SILVER | G FEATURE GLAZING | TM TRAPEZIUM METAL |
| VB VOLVO BLUE | GS SPANDREL GLAZING | C CHARCOAL |
| C SEALED CONCRETE | P PLANTING TO LANDSCAPE ARCHITECT | L LIGHT GREY |



2	225.01	Amendment to DA to address height issue
3	206.41	DA ISSUE
A	234.41	PRE-DA ISSUE
FILE	11277	REVISED

NOTE: ALL DIMENSIONS FROM 200MM TO 1000MM DIMENSIONS ONLY
CHECK ALL DIMENSIONS ON SITE BEFORE ANY MANUFACTURE OR CONSTRUCTION

PROJECT: **CAR SHOWROOM 54-72 CHURCH ST**

CLIENT: **MANSON GROUP**

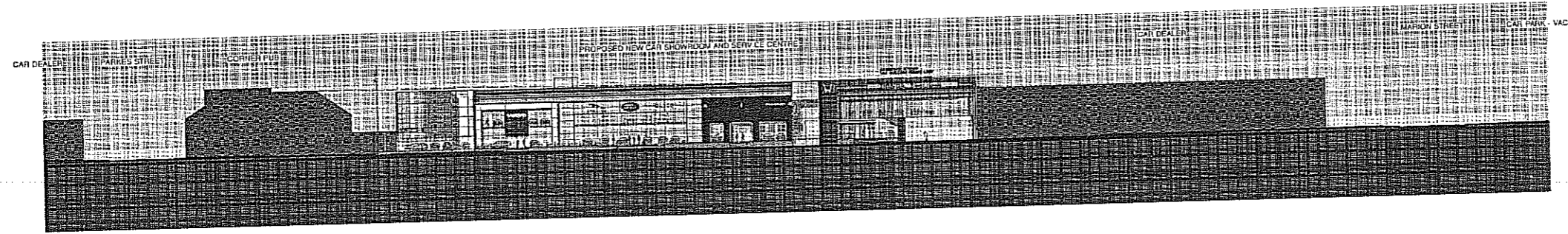
STAGE: **NORTH & SOUTH ELEVATION**

Baker Kavanagh architects

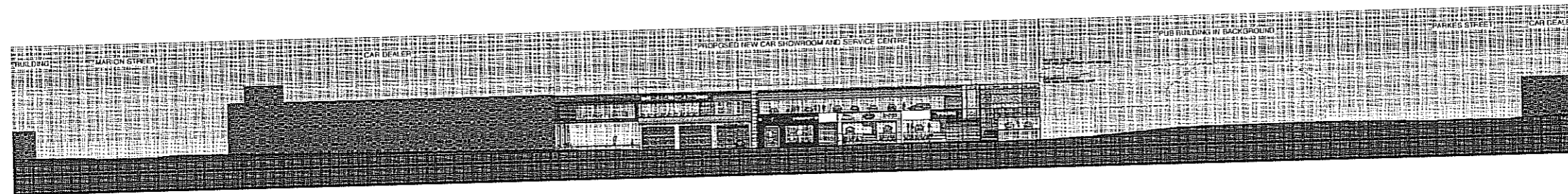
PROJECT# 09102
DATE March 2011
SCALE: A1 1:200
DRAWN CT
DA 202 C

Baker Kavanagh Architects L3 729 Elizabeth St Zetland
T 812 4118 1002 F 812 4318 0222 W www.bka.com.au E info@bka.com.au

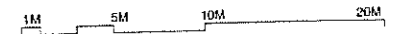




01 STREETScape ELEVATION: CHURCH STREET
DA205 1 : 500 @ A1



02 STREETScape ELEVATION: ANDERSON STREET
DA205 1 : 500 @ A1



B	25/11	Approved by DA to allow night hour
A	20/11	DA 5424-5509
DATE	DATE	DESCRIPTION

NOTE: DIMENSIONS FROM DRAWING. USE 7 DIGIT DIMENSIONS ONLY. CHECK ALL DIMENSIONS FOR ANY DISCREPANCIES BEFORE ANY WORK BEGINS ON SITE.
RHS: P/C

CAR SHOWROOM 54-72 CHURCH ST

CLIENT
MANSON GROUP

DRAWING
STREETScape ELEVATION

Baker Kavanagh architects
1998-2010

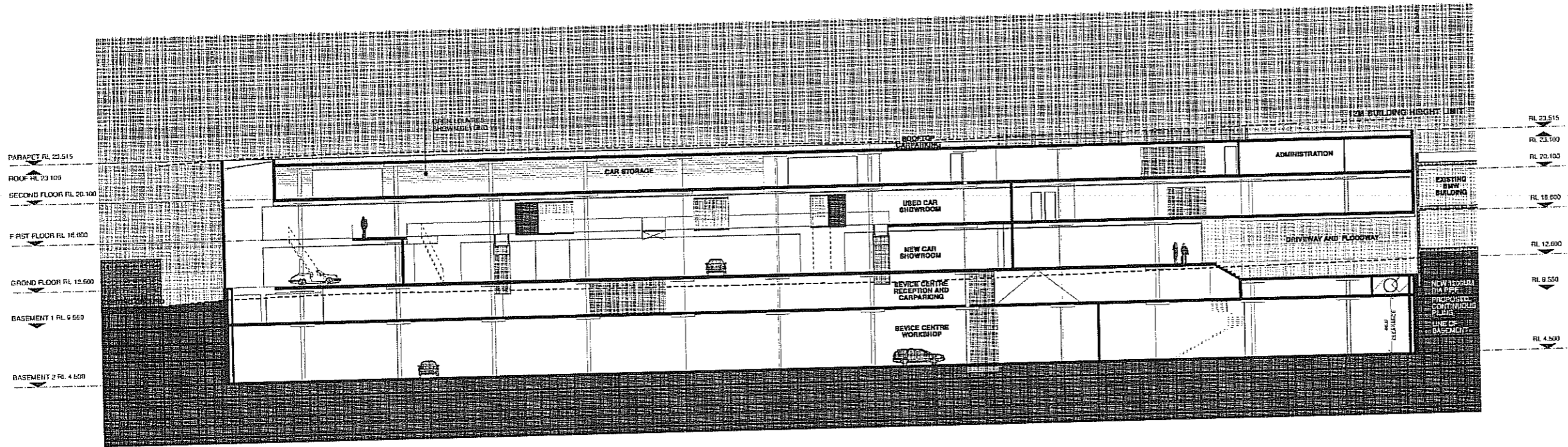
PROJECT #	09102	ENCL	CTV
DATE	March 2011		
SCALE @ A1	1:500	DA 205 B	
ISSUED BY	CT	DHG	

Baker Kavanagh Architects L3 729 Elizabeth St Sydney NSW 2000
T: 61 2 9551 8222 F: 61 2 9551 8222 W: www.bka.com.au E: bka@bka.com.au

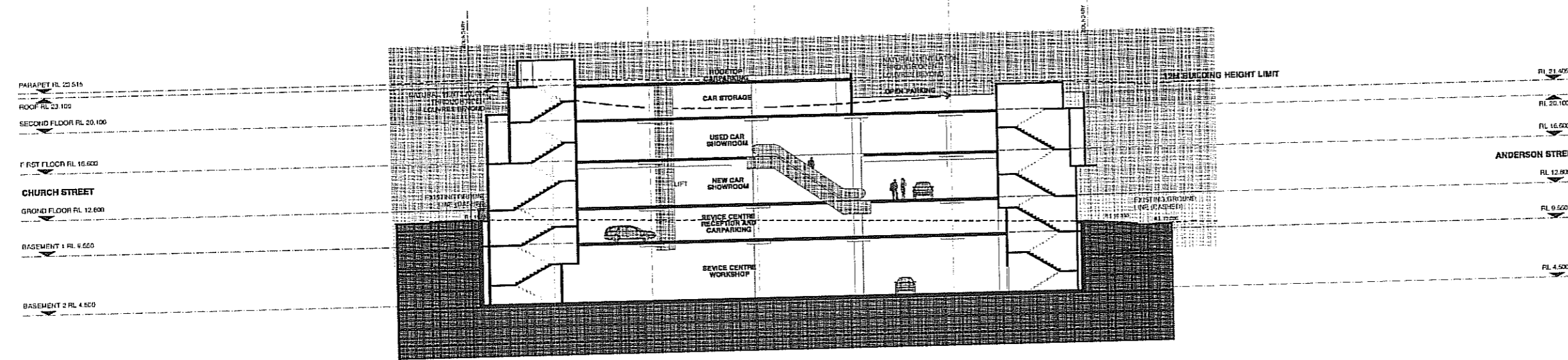
NOTE: REFER TO DRAWINGS DA 200 TO DA 202 FOR FACADE MATERIALS LEGEND



PLEASE READ IN CONJUNCTION WITH CONSULTANT'S DOCUMENTATION.

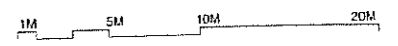


01 SECTION
DA300 1 : 200 @ A1



02 SECTION
DA300 1 : 200 @ A1

SECTION LEGEND
 - - - - - NATURAL VENTILATION PATH
 - - - - - EXISTING GROUND LEVEL



D	20/11	APPROVED IN DA TO GENERAL PRACTISE
C	18/11	ADDITIONAL INFO EXISTING GROUND LINE SHOWN
B	10/11	DA ISSUE
A	18/11	PRE DA ISSUE

NOTE: DO NOT SCALE FROM DRAWING. USE PAPER DIMENSIONS ONLY. CHECK ALL DIMENSIONS AGAINST THE PLAN BEFORE ANY CONSTRUCTION.

CAR SHOWROOM 54-72 CHURCH ST

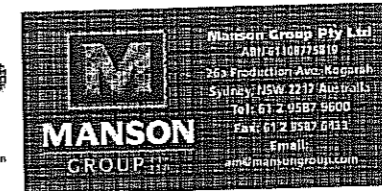
CLIENT
MANSON GROUP

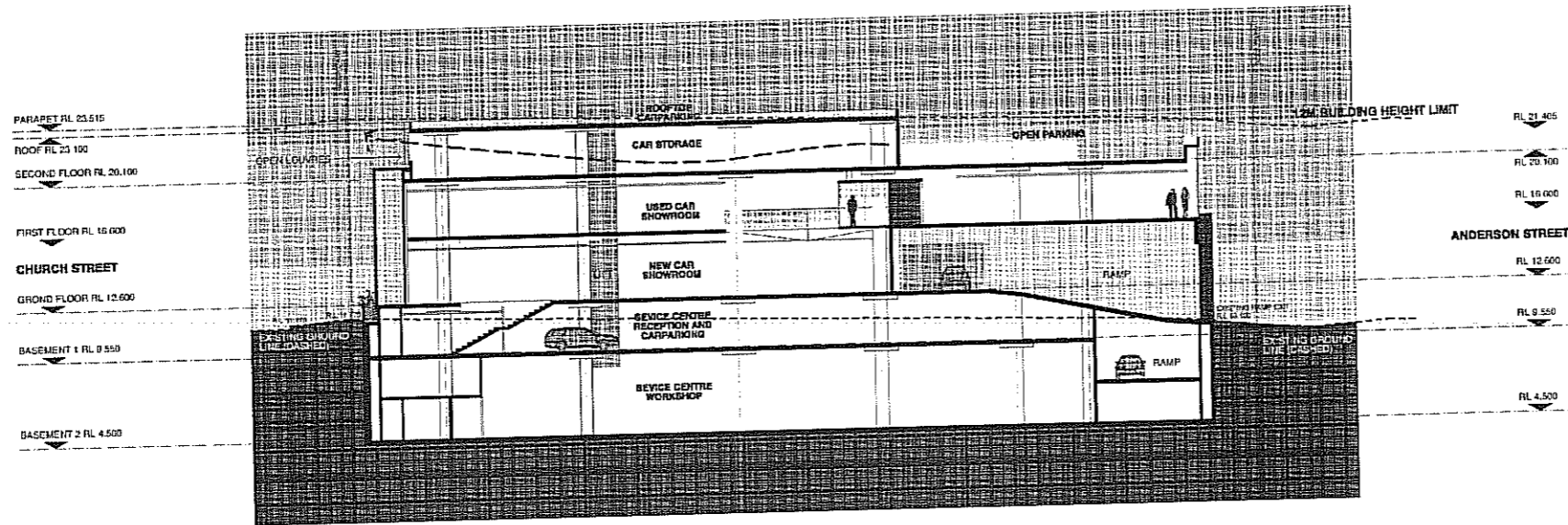
SECTIONS

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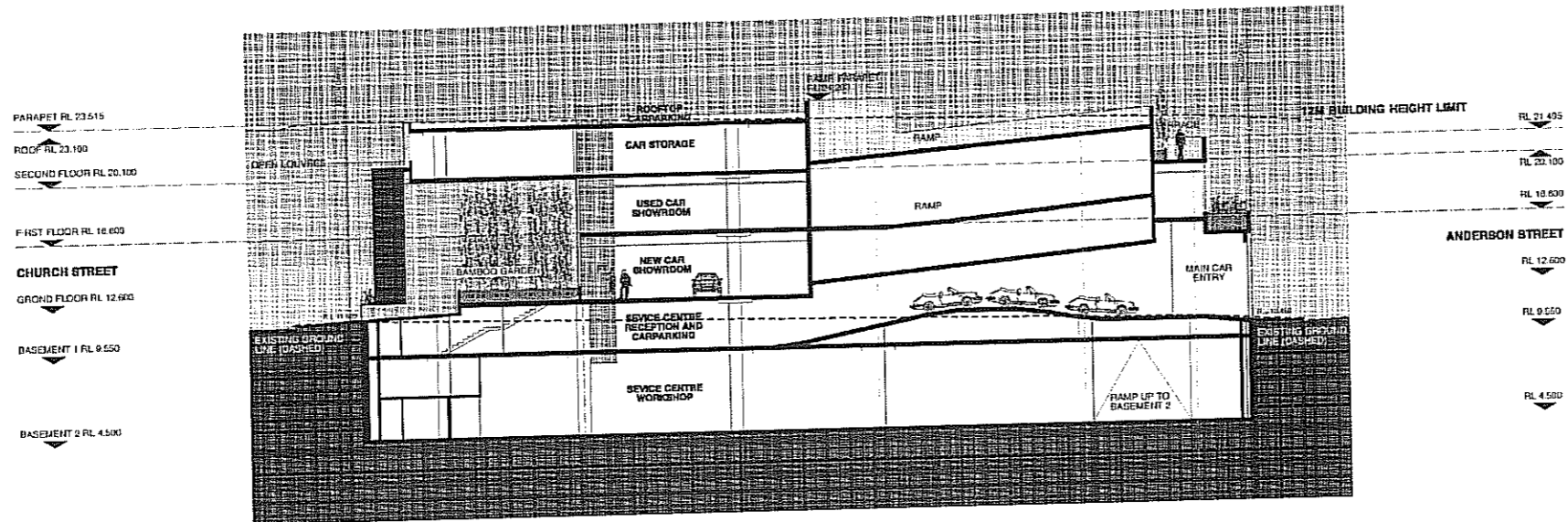
PROJECT: 09102
 DATE: March 2011
 SCALE: 1:200
 DRAWN: CT
 CHECKED: CT

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 T: 011 2 931 6000 F: 011 2 931 6222 W: www.bka.com.au E: info@bka.com.au

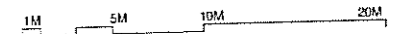




03 SECTION
DA301 1 : 200 @ A1



04 SECTION
DA301 1 : 200 @ A1



D	23/6/11	APPROVED BY DA IN ADDRESS FINAL ISSUE
C	18/11	ADDITIONAL INFO EXISTING GROUND LINE SHOWN
B	20/11	DA ISSUE
A	29/4/11	PRE DA ISSUE
DATE	DATE	REVISION

NOTE: ALL DIMENSIONS FROM 00' NAD 00. UNLESS SPECIFIED OTHERWISE. CHECK ALL DIMENSIONS CAREFULLY BEFORE ANY CONSTRUCTION.

CAR SHOWROOM 54-72 CHURCH ST

MANSON GROUP

SECTIONS

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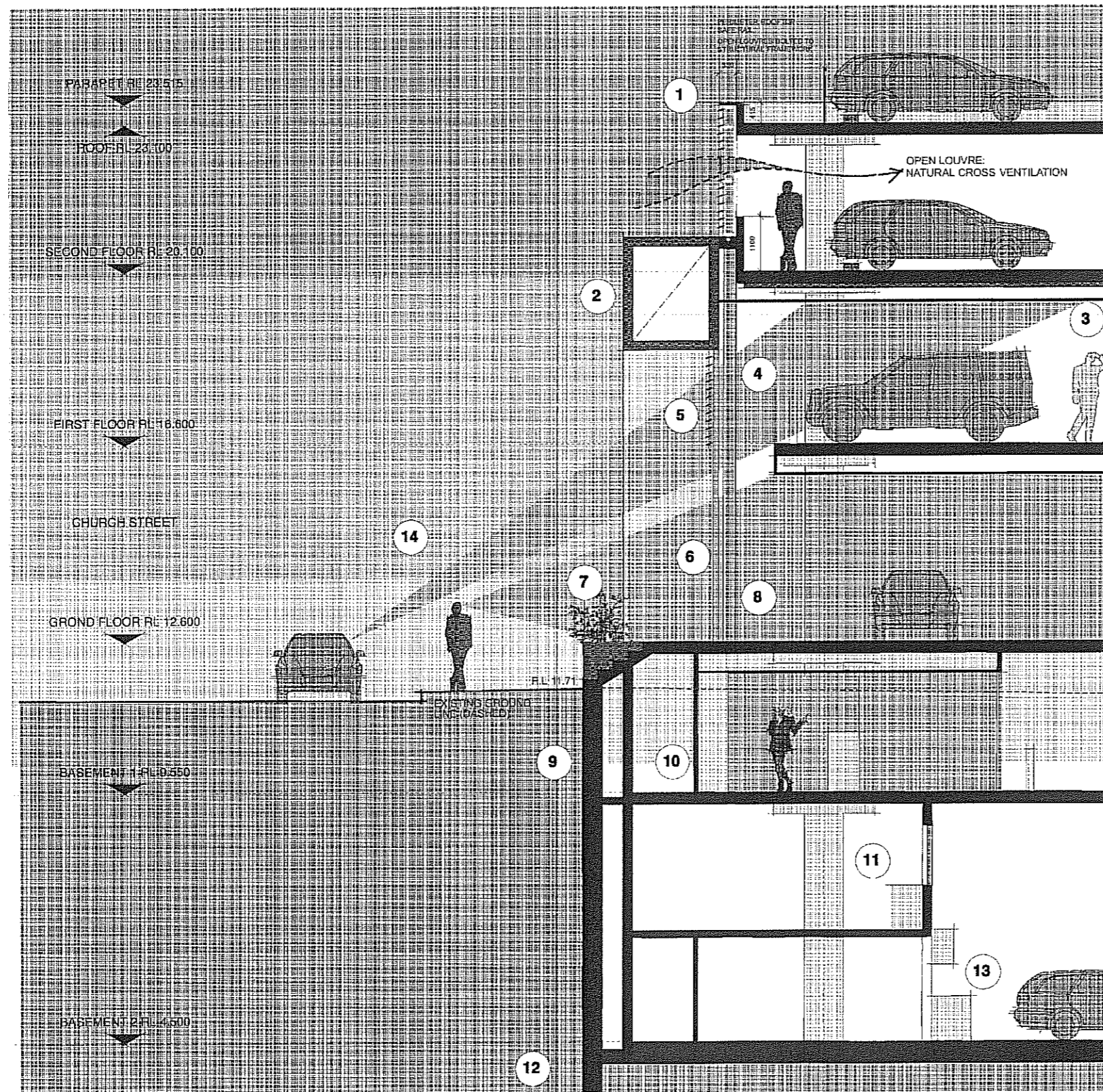
PROJECT#	09102	DATE	1/3/11
SITE	March 2011	SCALE	1:200
DATE	1:200	PROJECT	DA 301 D
DRAWN	CT	CHECKED	

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T: 612 0316 0202 F: 612 0316 0222 W: www.bka.com.au E: info@bka.com.au

SECTION LEGEND
 - - - - - NATURAL VENTILATION PATH
 - - - - - EXISTING GROUND LEVEL



PLEASE READ IN CONJUNCTION
WITH CONSULTANT'S
DOCUMENTATION.



ROOFTOP
CARPARKING

OPEN PARKING/
ADMINISTRATION

USED CAR
SHOWROOM

NEW CAR
SHOWROOM

SEVICE CENTRE
RECEPTION AND
CARPARKING

SEVICE CENTRE
WORKSHOP

- 1 Extruded aluminium louvres for natural ventilation
- 2 Brand specific external cladding (design and colour)
- 3 Suspended ceiling to allow for building services and insulation
- 4 Glass balustrade and bollards
- 5 External fixed louvres
- 6 Feature glazing to future specification
- 7 Planter boxes, plants to landscape architect's drawings
- 8 Entry to car showrooms
- 9 Structural system for external walls to basements TBA
- 10 Separate service corridor at back of receptions
- 11 Service Centre control room
- 12 Footing to future structural engineer's specification
- 13 Service centre work benches
- 14 View study from Church Street

1M 5M 10M 20M

01 DETAIL SECTION
DA305 1 : 50 @ A1

SECTION LEGEND
←--- NATURAL VENTILATION PATH



3 2011/11 Amendments to DA to address height issue
A 2010/11 DA SUB 5436/2/1/1
DATE DATE APPROVAL

NOTE: DO NOT REPRODUCE FROM DRAWINGS. USE PROVIDED DIMENSIONS OVER DRAWN DIMENSIONS.
CHECK ALL DIMENSIONS ON ALL SECTIONS AND MANUFACTURE FOR CONSTRUCTION.

CAR SHOWROOM 54-72 CHURCH ST

MANSON GROUP

DETAIL SECTION

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PROJECT: 09102 DATE: 1/11
DATE: March 2011
SCALE: 1:50 DA 305 B
DRAWN: CT CHECKED:

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T 612 9316 0201 F 612 9316 0222 W www.bka.com.au E bka@bka.com.au



01 Church Street Photomontage
DA800 NTS

A	DATE	DESCRIPTION

NOTE: DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY.
CHECK ALL DIMENSIONS ON SITE BEFORE ANY MANUFACTURE OR CONSTRUCTION.

CAR SHOWROOM 54-72 CHURCH ST

CLIENT
MANSON GROUP

DRAWING
CHURCH STREET PHOTOMONTAGE

Baker Kavanagh architects

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Fax: 61 2 9587 6433
Email: am@mansongroup.com

PROJECT #	09102
DATE	June 2011
SCALE @ A	NTS DA 800 A
DRAWN	AB
CHKD	DWC



01 Anderson Street Photomontage
DAB01 NTS

REV	DATE	DESCRIPTION
A	22/01/11	DA SUBMISSION

NOTE: DO NOT SCALE FROM DRAWING. USE DIMENSIONS ONLY.
CHECK ALL DIMENSIONS ON SITE BEFORE ANY MANUFACTURE OR CONSTRUCTION.

CAR SHOWROOM 54-72 CHURCH ST

MANSON GROUP

ANDERSON STREET PHOTOMONTAGE

**Baker
Kavanagh
architects**

PROJECT	09102	DATE	June 2011
SCALE	NTS	REF ID	DA 801 A
DRAWN	AB	DATE	

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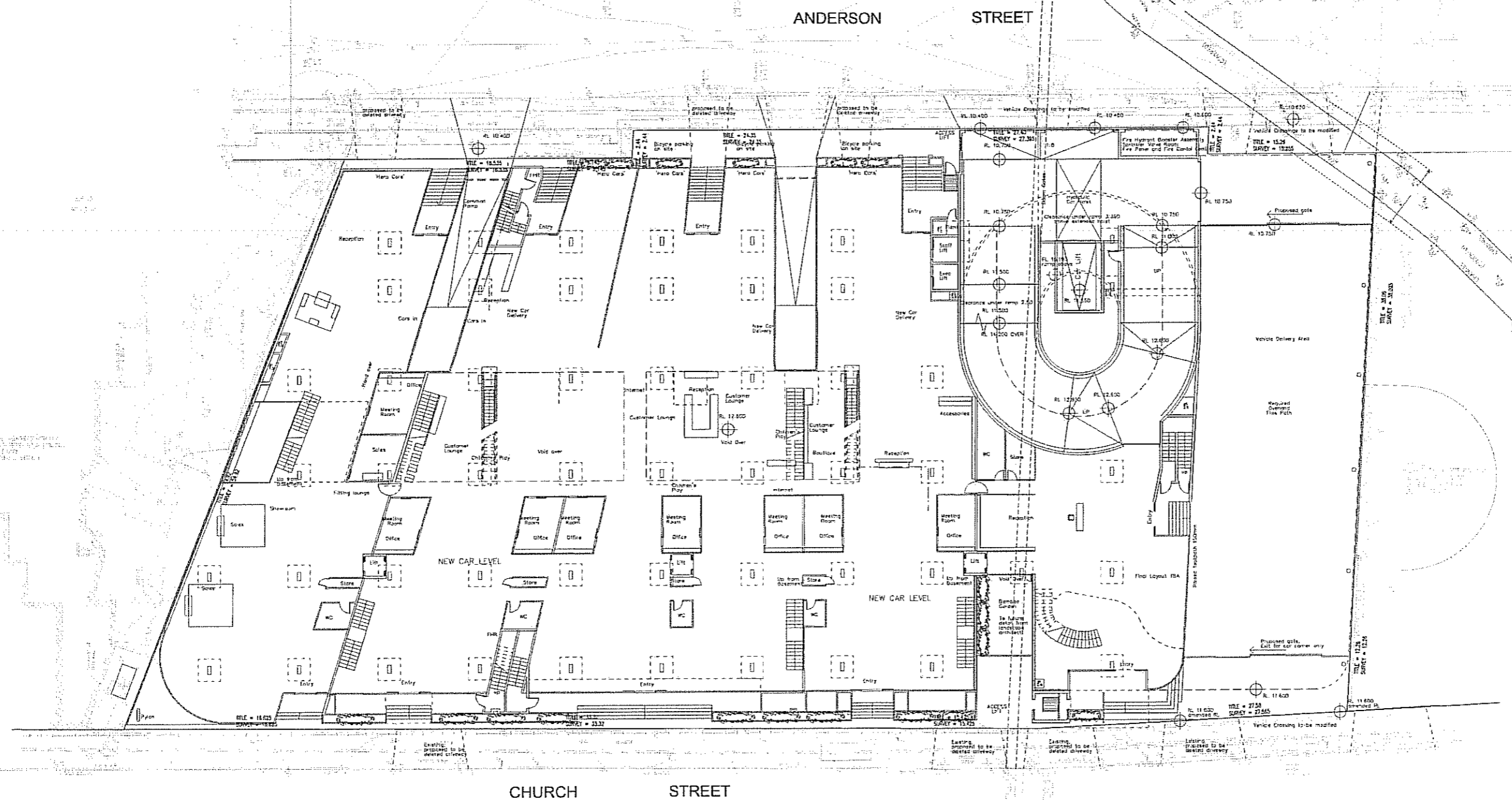
ENGINEERING INSPECTIONS - 48hrs NOTICE IS REQUIRED

- THE CONTRACTOR IS TO BE AWARE OF THE MATERIALS INSPECTIONS REQUIRED BY THE DEVELOPMENT CONSENT (DA) UNDER THE ENVIRONMENTAL PLANNING & ASSESSMENT ACT. CHECK WITH THE PCA.
- THESE MAY INCLUDE: EXCAVATION, REINFORCEMENT PRIOR TO CONCRETE POURING, PIPES & PITS PRIOR TO BACKFILL, FINISHING PIPES TO COVERING, FINAL INSPECTION AND OTHER FOR VARIOUS CERTIFICATIONS.

UNDERGROUND SERVICES SEARCH SHOULD BE UNDERTAKEN PRIOR TO ANY EXCAVATION TAKING PLACE UPON THE SITE.

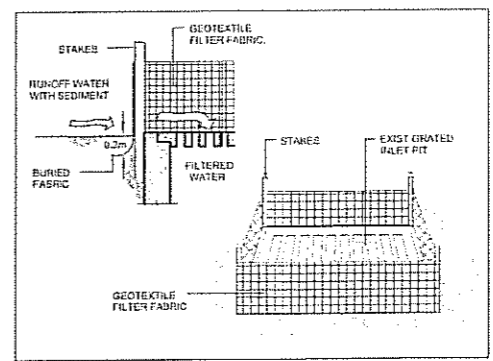
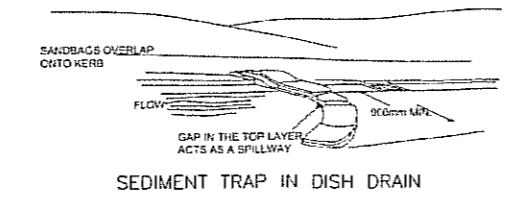
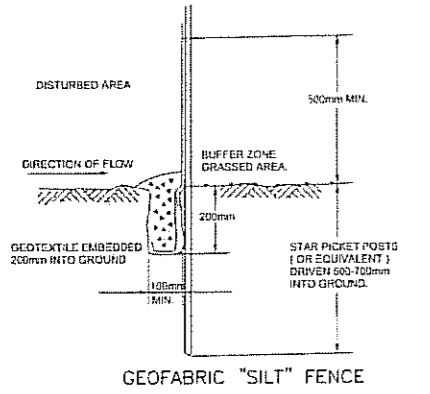


CONCEPT DESIGN FOR DA, 24/05/11



SITE MANAGEMENT AND EROSION & SEDIMENT CONTROL PLAN

1:200



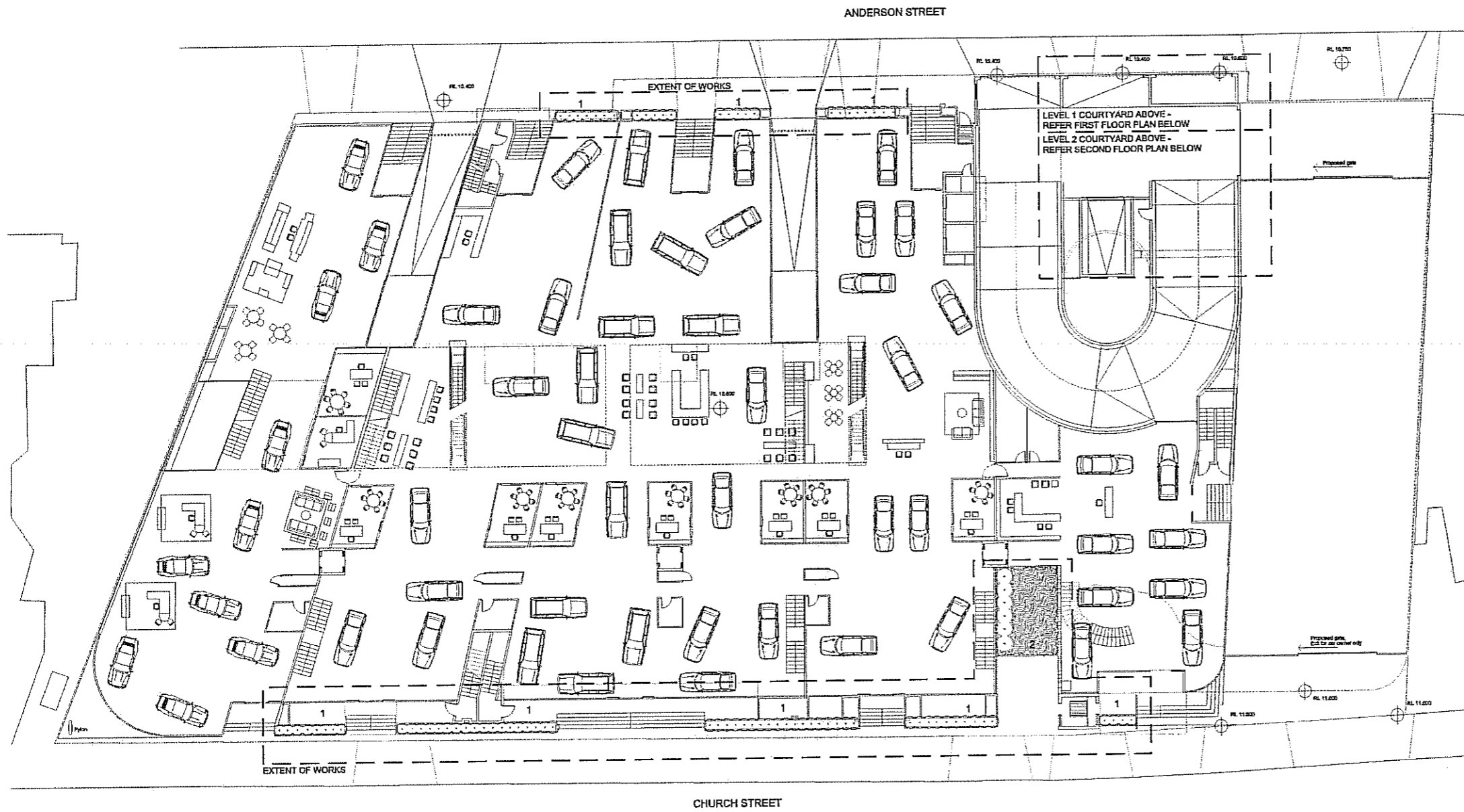
No.	DATE	REVISION	DETAILS

PREPARED BY:
CPM ENGINEERING
 Civil & Structural Consulting Engineers
 STRUCTURAL DESIGN & INVESTIGATION P.O. BOX 1203
 LANDSCAPE DESIGN SOUTHERLAND NSW 1429
 ROAD & PAVEMENT DESIGN Fax: (02) 9942 2622
 PROJECT MANAGEMENT TEL: (02) 9942 2622
 ENVIRONMENTAL DESIGN EMAIL: cpm@cpmengineering.com.au

PREPARED FOR:
MASON GROUP DESIGN & CONSTRUCTION PTY LTD

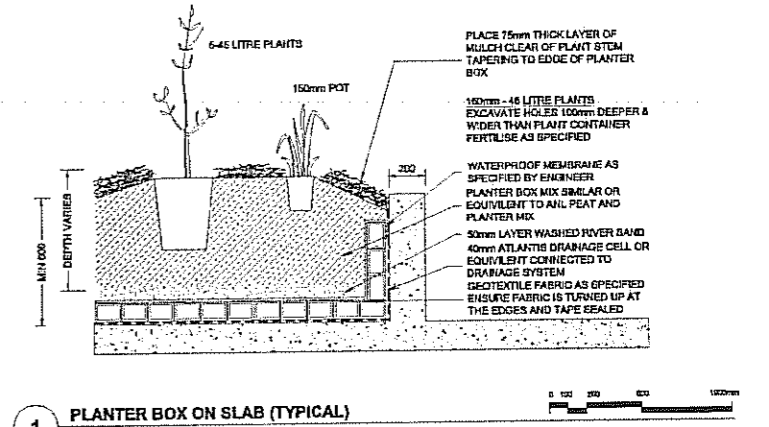
**TRIVETT CAR SHOWROOM
 CHURCH STREET, PARRAMATTA**

ORIGINAL SIZE	A1
SCALE	1:200
DATUM	AHD
LONG SECTION H.	CROSS SECTION H.
V:	V:
DATE OF PLAN:	18/02/11
APPROVED	
CHECKED:	CPM
DRAWN:	PS
DATE:	09/11/11
SHEET	6 OF 6 SHEETS

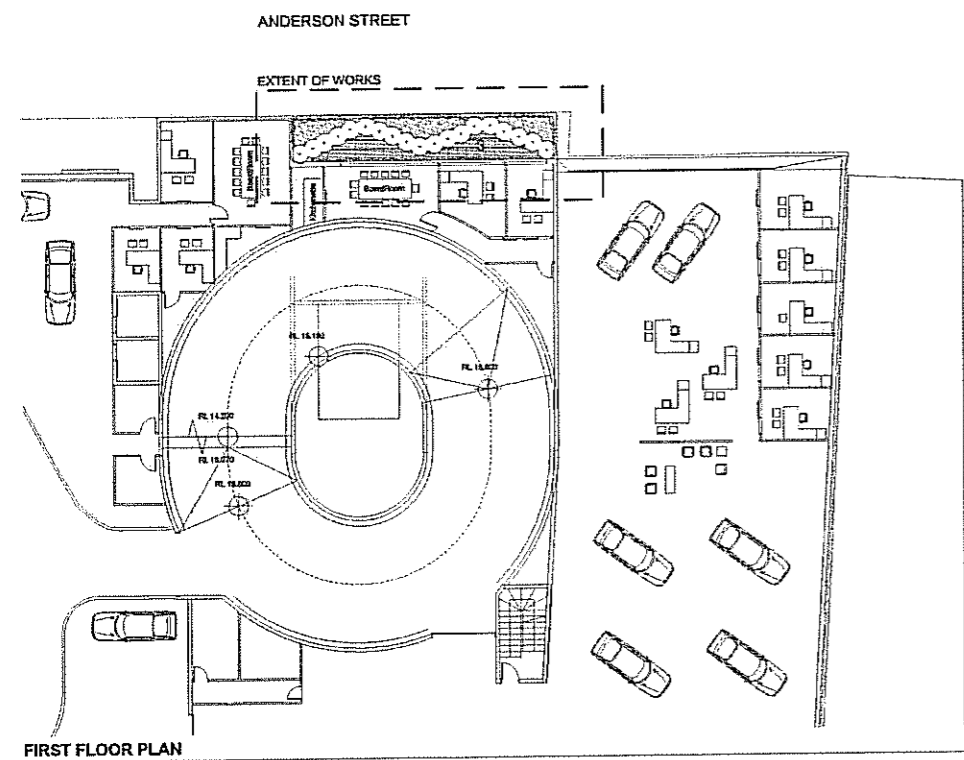


PROPOSED PLANT SCHEDULE

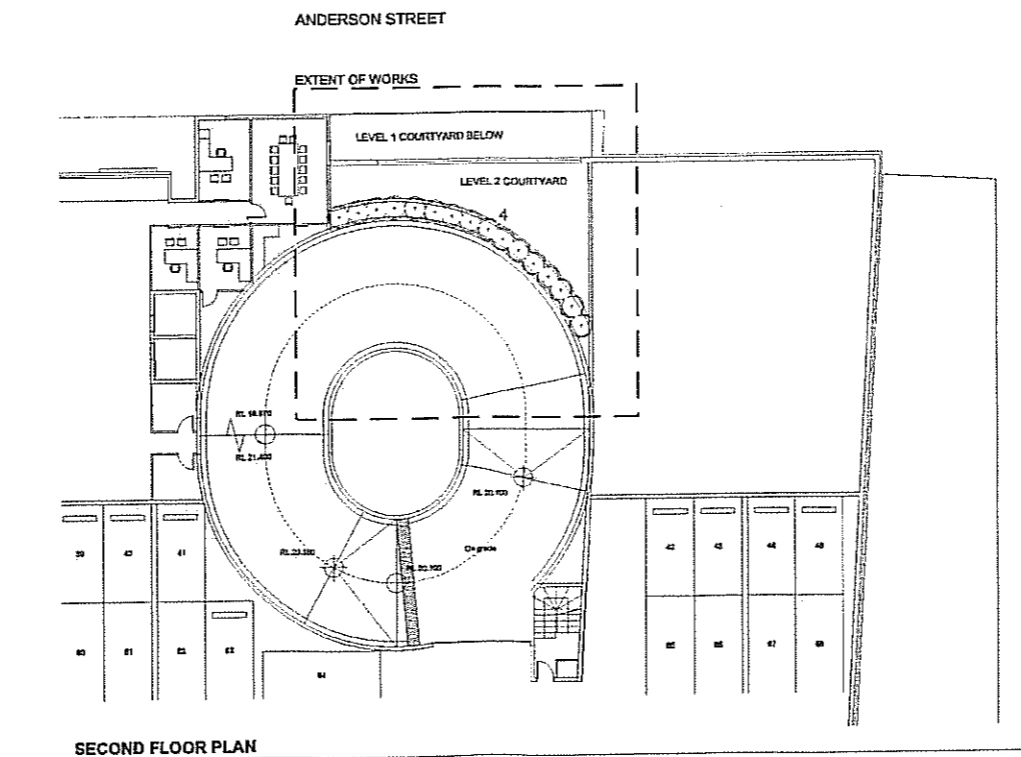
SYM	BOTANICAL NAME	COMMON NAME	MAT HGT & SPD	POT SIZE	COMMENTS
	<i>Bambusa multiplex</i> var. <i>Vittata</i>	China Gold	4.0 - 6.0 x 2.0m	5 Litre	Clumping Bamboo. Clip to maintain required height
	<i>Westringia 'Zena'</i>	Dwarf Westringia	1.0 x 1.0m	5 Litre	Clip to form hedge as required
STRAP LEAF PLANTS & GROUNDCOVERS					
	<i>Dianella 'Brezezi'</i>	Dianella	0.7m	150mm	
	<i>Phormium 'Bronze Baby'</i>	Dwarf Westringia	0.8 x 0.8m	150mm	
	<i>Vilfa hederacea</i>	Dwarf Westringia	0.2 x 1.5m	150mm	



GROUND FLOOR PLAN



FIRST FLOOR PLAN



SECOND FLOOR PLAN

LEGEND

1. RAISED PLANTER BOXES, PLANTED WITH WESTRINGIA 'ZENA', REFER ARCHITECTS PLANS AND SECTIONS FOR FINISHES AND DETAILS
2. BAMBOO GARDEN, CHINA GOLD BAMBOO (CLUMPING BAMBOO) TO FORM FEATURE SCREEN WITH NATIVE VIOLET GROUNDCOVER BENEATH
3. LEVEL 1 COURTYARD, PLANTER BOX 180mm DEPTH, PLANTED WITH MIX OF WESTRINGIA 'ZENA', PHORMIUM 'BRONZE BABY' AND DIANELLA 'BREZZE', REFER ARCHITECTS PLANS AND SECTIONS FOR FINISHES AND DETAILS
4. LEVEL 2 COURTYARD, PLANTER BOX 180mm DEPTH, PLANTED WITH CHINA GOLD BAMBOO (CLUMPING BAMBOO) TO FORM FEATURE SCREEN, REFER ARCHITECTS PLANS AND SECTIONS FOR FINISHES AND DETAILS

NOTE: DRIP IRRIGATION SYSTEM TO BE PROVIDED TO ALL GARDEN BEDS (TO FUTURE DETAIL)

Architect
Baker Kavanagh architects
Baker Kavanagh Architects 13 720 Elizabeth St Sydney
7 44 414 414 7 44 414 414 7 44 414 414 7 44 414 414

Revision	Description	Date
005	For Review	03.05.2011
A	For DA Approval	04.05.2011
B	Accepted by DA Approval	22.05.2011

Project
Car Show Room
40 - 70 Church Street Parramatta

Client
Manson Group

Title
Landscape Plan

Issue
For Development Application

Date
April 2011

Drawn
CD

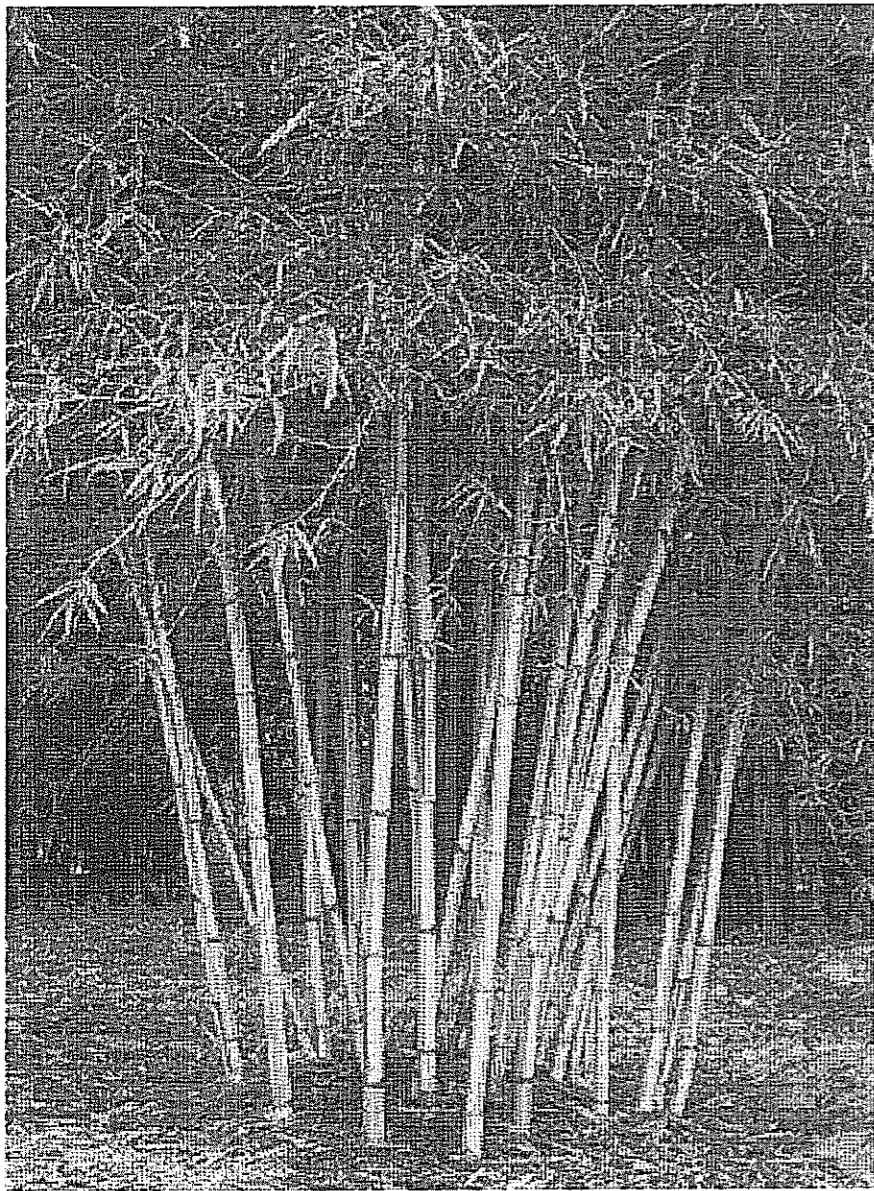
Checked
CD

Scale
1:200 @ A1

Job No
10005

outdoor interests
landscape architects

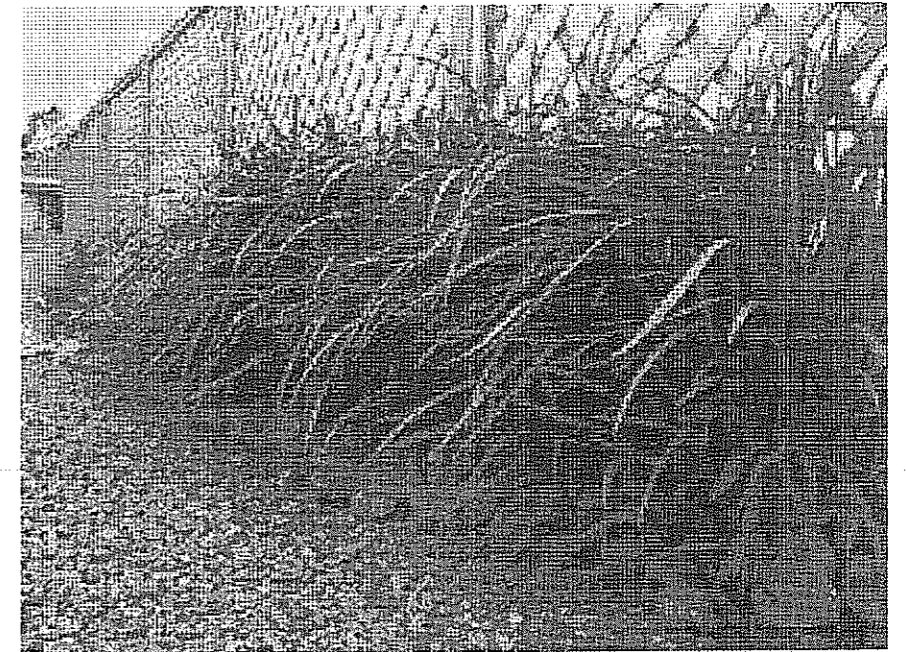
outdoor interests pty ltd abn: 64 136 173 742
PO Box 5634, Turraville NSW 2074
t 0413 370 224 e info@outdoorinterests.com.au



China Gold Bamboo



Westringea 'Zena'



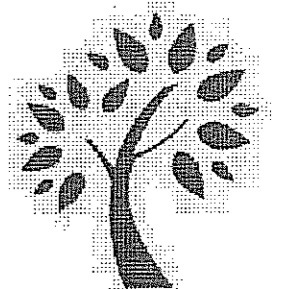
Dianella 'Breeze'

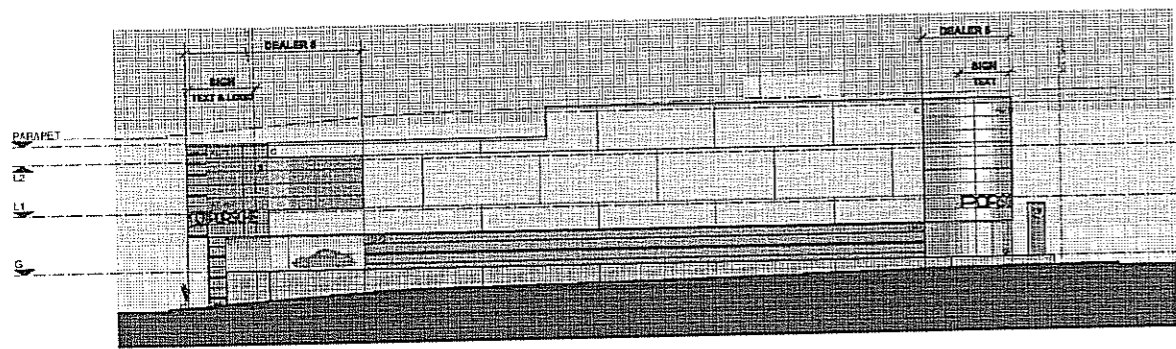


Phormium 'Bronze Baby'

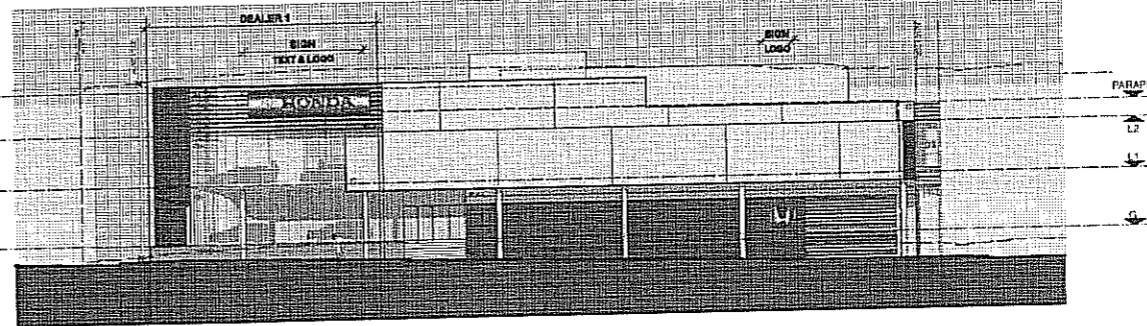


Viola hederacea

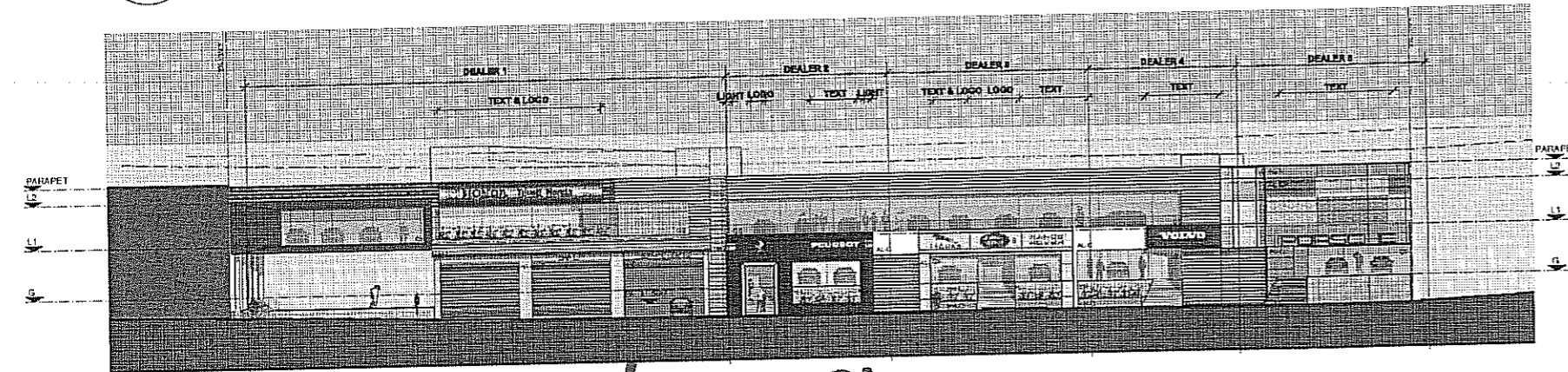




01 NORTH SIGNAGE
DA900 1:250 @ A1



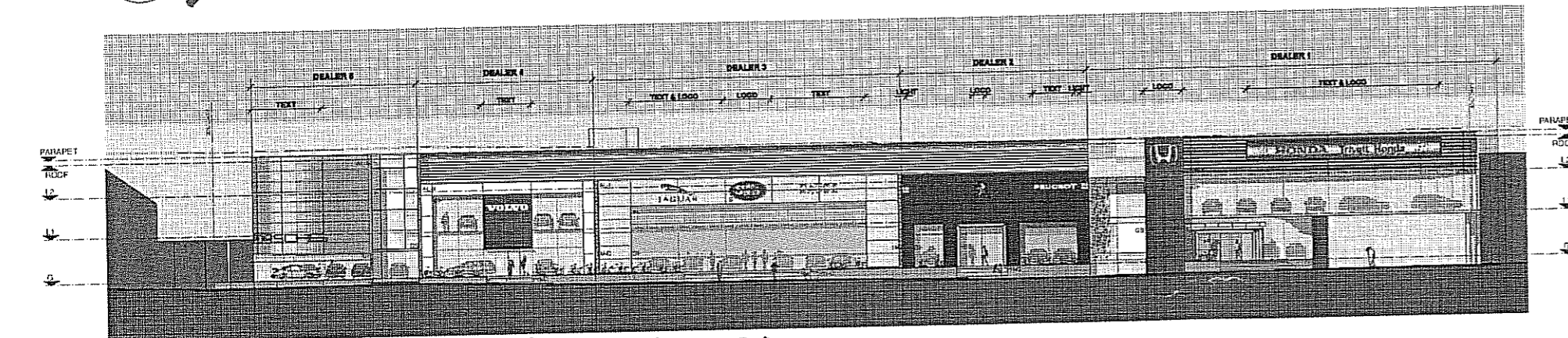
02 SOUTH SIGNAGE
DA900 1:250 @ A1



03 CHURCH STREET SIGNAGE
DA900 1:250 @ A1

Anderson St

signage



04 ANDERSON STREET SIGNAGE
DA900 1:250 @ A1

Church St

CHURCH STREET SIGNAGE

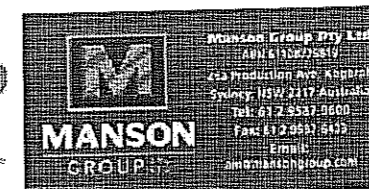
DEALER	ITEM	DIMENSION (mm)	ILLUMINATED (Y/N)	HOURS OF ILLUMINATION
1	TEXT & LOGO	12700 (L) x 1200 (H)	Y	Dusk till Midnight
2	TEXT & LOGO	6000 (L) x 1300 (H)	Y	Dusk till Midnight
3	TEXT & LOGO	12200 (L) x 1500 (H)	Y	Dusk till Midnight
4	TEXT	5300 (L) x 460 (H)	Y	Dusk till Midnight
5	TEXT	9000 (L) x 600 (H)	Y	Dusk till Midnight

NOTE: Signage will be on an automatic detection system for lighting levels. There will be a slight variation in hours of illumination to accommodate seasonal and weather changes.

ANDERSON STREET SIGNAGE

DEALER	ITEM	DIMENSION (mm)	ILLUMINATED (Y/N)	HOURS OF ILLUMINATION
1	TEXT & LOGO	20000 (L) x 1200 (H)	Y	Dusk till Midnight
2	TEXT & LOGO	6000 (L) x 1300 (H)	Y	Dusk till Midnight
3	TEXT & LOGO	20700 (L) x 2300 (H)	Y	Dusk till Midnight
4	TEXT	4200 (L) x 460 (H)	Y	Dusk till Midnight
5	TEXT	9000 (L) x 900 (H)	Y	Dusk till Midnight

NOTE: Signage will be on an automatic detection system for lighting levels. There will be a slight variation in hours of illumination to accommodate seasonal and weather changes.



DATE	DATE	REVISION

NOTE: DO NOT SCALE FROM DRAWING. USE FIGURED DIMENSIONS ONLY. DIM OR ALL DIMENSIONS ON THIS BEFORE ANY MANUFACTURE OR CONSTRUCTION.

PROJECT: CAR SHOWROOM 54-72 CHURCH ST

CLIENT: MANSON GROUP

DRAWING: EAST - ANDERSON STREET ELEVATION

Baker Kavanagh architects

PROJECT: 09102
DATE: January 2012
SCALE: 1:250
DRAWING: DA 900

Baker Kavanagh Architects L3 729 Elizabeth St Zetland
T 612 9318 6200 F 612 9318 9222 W www.bka.com.au E bka@bka.com.au

GENERAL

- G1 THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, AND CONSULTANT DRAWINGS AND SPECIFICATIONS, THE DEVELOPMENT CONSENT / RELEVANT APPROVALS, AND OTHER WRITTEN INSTRUCTIONS THAT MAY BE ISSUED. THE CONTRACTOR IS TO MAKE THEMSELVES AWARE OF ALL SUCH DOCUMENTS.
- G2 DIMENSIONS SHALL NOT BE OBTAINED BY SCALING FROM THE DRAWINGS. REFER ARCHITECT'S DRAWINGS FOR ALL DIMENSIONS.
- G3 REFER ANY DISCREPANCY TO THE ENGINEER/ARCHITECT.
- G4 MATERIALS AND WORKMANSHIP SHALL COMPLY WITH THE APPROPRIATE AUSTRALIAN STANDARDS, SPECIFICATIONS OR CODES AND WITH THE REQUIREMENTS OF THE RELEVANT LOCAL AUTHORITY.
- G5 THE ALIGNMENT AND LEVEL OF ALL SERVICES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL CONFIRM THE POSITION AND LEVEL OF ALL SERVICES PRIOR TO COMMENCEMENT OF CONSTRUCTION. ANY DAMAGE TO SERVICES SHALL BE RECTIFIED AT THE CONTRACTOR'S EXPENSE.
- G6 ALL SERVICES, OR CONDUITS FOR SERVICES AND DRAINAGE SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF PAVEMENT CONSTRUCTION.
- G7 DRAINAGE SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE RELEVANT LOCAL AUTHORITY CONSTRUCTION SPECIFICATION AND THE CIVIL DRAWINGS.
- G8 NO WORK IS PERMITTED WITHIN ADJOINING PROPERTIES WITHOUT WRITTEN PERMISSION FROM THE OWNERS OR RESPONSIBLE AUTHORITY.
- G9 CONCRETE WORKS SHALL BE AS DETAILED ON THE DRAWINGS WITH REFERENCE TO THE CONCRETE SPECIFICATION.

DRAINAGE

- D1 ALL DRAINAGE OUTLET PIPES / LEVELS SHALL BE CONFIRMED ON SITE, PRIOR TO CONSTRUCTION COMMENCING.
- D2 STORMWATER DRAINAGE SHALL BE GENERALLY IN ACCORDANCE WITH AS1500.3 PIPES OF 300mm DIA. AND SMALLER SHALL BE UP TO AS1504.
- D3 PIPES OF 375mm DIA. AND LARGER SHALL BE PVC OR CONCRETE CLASS 2 TO AS1342 RUBBER RING JOINTED UNO.
- D4 ALL PIPES WITHIN THE PROPERTY TO BE MIN. 100 DIA UPVC @ 150MM GRADE, UNO.
- D5 ALL PITS WITHIN THE PROPERTY ARE TO BE FITTED WITH "WELDLUG" OR APPROVED EQUIVALENT GRATES.
 - LIGHT DUTY FOR LANDSCAPED AREAS
 - HEAVY DUTY WHERE SUBJECTED TO VEHICULAR TRAFFIC
- D6 PITS WITHIN THE PROPERTY MAY BE CONSTRUCTED AS
 - 1) PRECAST STORMWATER PITS
 - 2) CAST IN-SITU MASS CONCRETE
 - 3) ONLY 300 SQ. PITS IN LANDSCAPE AREAS CAN BE HOPE PLASTIC WHERE NOTED SUBJECT TO THE RELEVANT LOCAL AUTHORITY CONSTRUCTION SPECIFICATION.
- D7 TRENCH DRAIN GRATES TO BE GALV. STEEL FRAME CAST INTO CONCRETE UNO.
- D8 PIPE / PIT BACKFILL TO BEDDING, HAUNCH AND OVERLAY ZONES IS TO BE 7_10 BLUE METAL, SANDY LOAM OR EQUIV. TAMP COMPACTED AT OPTIMUM MOISTURE, MAY VARY IN ROAD AREAS. BE SHARP CLEAN SAND, TO LOCAL AUTHORITY REQUIREMENTS.
- D9 MINIMUM PIPE COVER IS TYPICALLY 300mm AND 450mm IN ROADWAY AREAS.
- D10 ANY PIPES AT +15% GRADE REQUIRE CONCRETE BULKHEADS IN ACCORDANCE WITH AS 3500.3.
- D11 ENSURE ALL GRATES TO PITS ARE SET BELOW FINISHED SURFACE LEVEL WITHIN THE PROPERTY. TOP OF PIT R/L'S ARE APPROXIMATE ONLY AND MAY BE VARIED SUBJECT TO APPROVAL OF THE ENGINEER. ALL INVERT LEVELS ARE TO BE ACHIEVED.
- D12 ALL PITS 600x900 AND LARGER ARE TO HAVE A 700mm SUBSOIL LINE DRAINED TO THE UPSTREAM FACE AT INVERT.
- D13 ALL PITS ARE TO HAVE CONCRETE BENCHING TO OUTLET INVERT AND UP TO 1000mm HIGH PIPE DIAMETER UNLESS SHOWN OTHERWISE.
- D14 THE CONTRACTOR IS TO BE AWARE OF THE OPENING TO DEPTH FIT REQUIREMENTS OF AS3500.3 I.E.
 - 450SQ: 600 MAX. DEPTH
 - 600SQ: 900 MAX. DEPTH UNO.
- D15 PROVIDE STEP IRONS TO STORMWATER PITS GREATER THAN 1200mm DEPTH.
- D16 SUBSOIL DRAINAGE SHALL BE PROVIDED TO ALL RETAINING WALLS & EMBANKMENTS, WITH THE LINES FEEDING INTO THE STORMWATER DRAINAGE SYSTEM.
- D17 ALL SERVICES TO BE LOCATED BY HAND DIGGING BEFORE MECHANICAL EXCAVATION FOR THE SITE OUTLET.

EARTHWORKS

- E1 THE EARTHWORKS SHALL BE CARRIED OUT IN ACCORDANCE WITH THE PROJECT GEOTECHNICAL REPORT.
- E2 THE SITE OF THE WORKS SHALL BE PREPARED BY STRIPPING ALL EXISTING TOPSOIL, FILL AND VEGETATION.
- E3 SUBGRADE SHALL BE COMPACTED UNO. A DRY DENSITY HAS BEEN ACHIEVED OF NOT LESS THAN 100% OF THE STANDARD MAXIMUM DRY DENSITY WHEN TESTED IN ACCORDANCE WITH AS 1089 TESTS E.11. OR E.12.
- E4 THE EXPOSED SUBGRADE SHOULD BE PROFFERED TO DETECT ANY SOFT OR WET AREAS WHICH SHOULD BE LOCALLY EXCAVATED AND BACK FILLED WITH SELECTED MATERIAL.
- E5 WHERE HARD ROCK IS EXPOSED IN THE EXCAVATION SUB-GRADE, THIS WILL BE INSPECTED, AND A DECISION MADE ON THE LEVEL OF FURTHER EXCAVATION.
- E6 THE BACK FILLING MATERIAL SHALL BE IMPROVED GRANULAR FILL OF LOW PLASTICITY, PREFERABLY CRUSHED SANDSTONE, AND TO BE PLACED IN LAYERS NOT EXCEEDING 150mm THICKNESS AND COMPACTED TO 98% OF STANDARD DRY DENSITY AT A MOISTURE CONTENT WITHIN 2% OF OPTIMUM.
- E7 SITE WORKS ARE TO BE BATTERED TO ADJACENT PROPERTY LEVELS. STORMWATER MUST NOT BE CONCENTRATED ON TO AN ADJACENT PROPERTY AT NO TIME DURING OR AFTER CONSTRUCTION IS STORMWATER TO BE PONDED ON ADJOINING PROPERTIES. THE SITE SHALL BE GRADED AND DRAINED SO THAT STORMWATER WILL BE DIRECTED AWAY FROM THE BUILDING PLATFORM.
- E8 STORMWATER DRAINAGE SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE COURSE OF CONSTRUCTION. ALL STORMWATER RUNOFF SHALL BE GRADED AWAY FROM THE SITE WORKS AND DISPOSED OF VIA SURFACE CATCHDRAINS AND STORMWATER COLLECTION PITS. ALL SURFACE CATCH DRAINS SHALL BE GRADED AT 1% (1 IN 100) MINIMUM THE GROUND SHALL GRADE AWAY FROM ANY DWELLING AT 5% (5 IN 100) FOR THE FIRST METRE THEN AT 2% (2 IN 100).
- E9 WHERE A CUT FILL PLATFORM IS USED THERE SHALL BE A MINIMUM BERM 1000mm WIDE TO THE PERIMETER OF THE SITE WORKS WHICH SHALL BE SUPPORTED BY BATTERS OF 3:1 IN FILL.
- E10 ANY VERTICAL OR NEAR VERTICAL PERMANENT EXCAVATION DEEPER THAN 300mm IN MATERIAL OTHER THAN ROCK SHALL BE ADEQUATELY RETAINED OR BATTERED AT A MINIMUM OF 3:1.
- E11 WHERE BATTERS CANNOT BE PROVIDED TO SUPPORT THE CUT OR FILL, THEY SHALL BE ADEQUATELY RETAINED.
- E12 RETAINING WALLS ARE TO BE CONSTRUCTED WITH ADEQUATE SUBSOIL DRAINAGE.

ORDER OF CONSTRUCTION

- REFER TO DETAILED CONSTRUCTION SCHEDULE FOR SPECIFIC DETAILS.
- 1. PROVIDE SILT FENCE AROUND BOUNDARIES AS SHOWN ON THE PLAN. RETURNS TO BE PROVIDED EVERY 20m MAXIMUM.
- 2. CONSTRUCT SILT TRAPS AROUND EXISTING PITS & SEDIMENT TRAP.
- 3. PROVIDE DIVERSION BANKS AROUND THE SIDES AS SHOWN ON THE PLAN BANKS TO SPILL ONTO SCALLOPPED SILT FENCING.
- 4. PROVIDE TEMPORARY ENTRY/EXIT AREA AS SHOWN.
- 5. STRIP TOPSOIL FROM IMMEDIATE WORK AREA AND REMOVE SURPLUS AS DIRECTED. STOCKPILE REMAINED ON SITE IN AREA DESIGNATED WITH DIVERSION BANK IN PLACE UPSLOPE AND SILT FENCE IN PLACE DOWNSLOPE.
- 6. CONSTRUCT BULK EARTHWORKS FOR BUILDINGS.
- 7. CONSTRUCT BUILDINGS & AUXILIARY STRUCTURES.
- 8. CONSTRUCT ROAD & CIVIL WORKS TO DETAILS SHOWN ON PLANS.
- 9. DURING CONSTRUCTION OF DRAINAGE PIPELINES TEMPORARY PROTECTION TO BE PROVIDED AROUND PITS & PIPE OPENINGS. ALL SPOIL TO BE STOCKPILED ON HIGH SIDE OF TRENCH PRIOR TO BACKFILLING.
- 10. PROVIDE TUNE STRIPS BEHIND ROADS.
- 11. REMOVE SEDIMENT CONTROL MEASURES.

CONCRETE PAVEMENT/ MINOR WORKS

- C1 SUBGRADE SHALL BE PREPARED AS OUTLINED IN EARTHWORKS.
- C2 ALL MATERIALS AND WORKMANSHIP FOR CONCRETE WORK SHALL BE IN ACCORDANCE WITH AS3600 AND AS3340.
- C3 PROVIDE BONDING AT MINIMUM 6000 MAX. INTERVALS OR AS OTHERWISE SPECIFIED IN THE DRAWINGS.
- C4 CONCRETE SHALL COMPRISE A MIN. COMPRESSIVE STRENGTH OF 32MPa AT 28 DAYS IN ACCORDANCE WITH THE RELEVANT LOCAL AUTHORITY SPECIFICATION, UNO.
- C5 ANY SUB-BASE MATERIAL SHALL BE COMPACTED AS OUTLINED IN EARTHWORKS. CONCRETE KERB AND GUTTER SHALL COMPRISE A MINIMUM COMPRESSIVE STRENGTH OF 25MPa, UNO.
- C6 THE FINISHED CONCRETE SHALL BE MECHANICALLY VIBRATED TO ACHIEVE A DENSE HOMOGENEOUS MASS, COMPLETELY FILLING THE FORMWORK.
- C7 CONCRETE WORKS ARE TO BE CURED BY ONE OF THE FOLLOWING MEANS:
 - WETTING TWICE DAILY FOR THE FIRST THREE DAYS.
 - USING AN APPROVED CURING COMPOUND FOR A MINIMUM OF 7 DAYS COMMENCING IMMEDIATELY AFTER POURING.

ASPHALTIC PAVEMENT

- AP1 SUBGRADE SHALL BE PREPARED AS OUTLINED IN EARTHWORKS.
- AP2 PAVEMENT MATERIAL SHALL CONSIST OF APPROVED CRAPPED SANDSTONE, NATURAL GRAVEL OR FINE CRUSHED ROCK AS PER THE RELEVANT LOCAL AUTHORITY SPECIFICATION.
- AP3 PAVEMENT MATERIALS SHALL BE SPREAD IN LAYERS NOT EXCEEDING 150mm AND NOT LESS THAN 75mm COMPACTED THICKNESS.
- AP4 PAVEMENT MATERIALS SHALL BE SIZED AND OF A STANDARD OUTLINED IN AS1411 CRUSHED OR CRAPPED SANDSTONE SHALL BE MINUS 75 NOMINAL SIZE DERIVED FROM SOUND, CLEAN SANDSTONE FREE FROM COVER BURDEN, CLAY SCUMS, SHALE AND OTHER DELETERIOUS MATERIAL.
- AP5 PAVEMENT MATERIALS SHALL BE COMPACTED BY SUITABLE MEANS TO SATISFY THE FOLLOWING MINIMUM SPECIFICATIONS (AS PER AS1289.2):

DESCRIPTION	MEDIUM DENSITY RATIO
SUB-BASE	98% MOD.
BASE COURSE	98% MOD.
ASPHALTIC	97% MOD.
- AP6 TESTING FOR EACH LAYER SHALL BE UNDERTAKEN BY A REGISTERED LABORATORY IN ACCORDANCE WITH AS1289, AT NOT MORE THAN 50m INTERVALS AND A MINIMUM OF TWO PER LAYER. FURTHER FREQUENCY OF TESTING SHALL BE NO LESS THAN THAT REQUIRED BY AS3978.

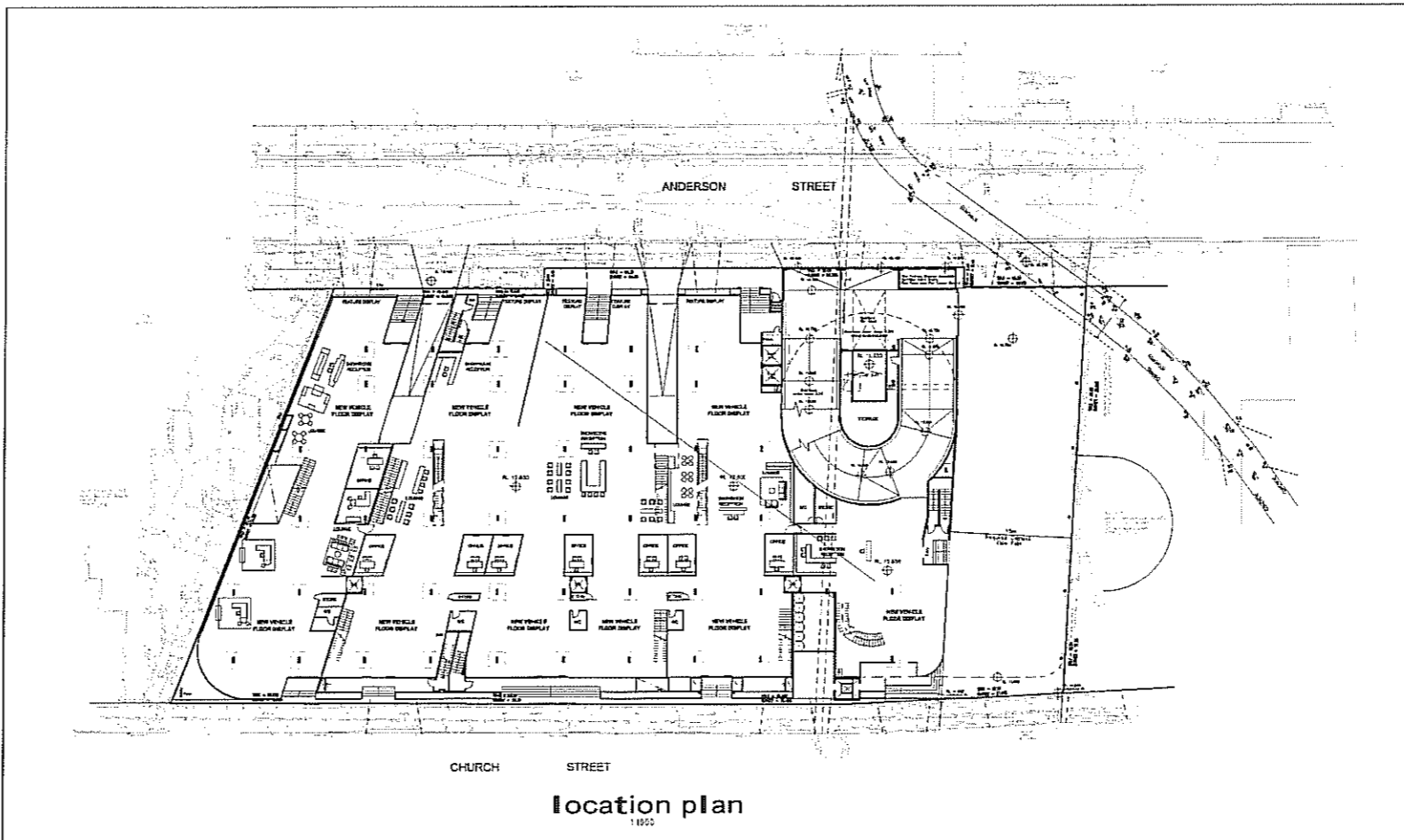
EROSION AND SEDIMENT NOTES

- E1 ALL EROSION & SEDIMENT CONTROL DEVICES ARE TO BE PLACED PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION WORKS. THE LOCATION OF SUCH DEVICES IS TO BE INDICATED ON THE PLAN. POSITION SHOULD BE DETERMINED ON SITE.
- E2 ALL DEVICES ARE TO BE MAINTAINED TO THE STANDARDS OF THE NSW DEPARTMENT OF HOUSING'S 'SOIL AND WATER MANAGEMENT FOR URBAN DEVELOPMENT'.
- E3 THE CONTRACTOR IS TO MAKE THEMSELVES AWARE OF ANY TREE PRESERVATION ORDER OR TREE REMOVAL. REQUIRED TREE PROTECTION MEASURES ARE TO BE IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
- E4 A LOG BOOK OR OTHER SUITABLE RECORDS MUST BE KEPT BY THE SITE SUPERVISOR IN ACCORDANCE WITH THE EPA'S RECORDS.
- E5 NO TOPSOIL, SILT OR EXCAVATED MATERIALS IS TO BE PLACED OUTSIDE THE LIMIT OF WORKS. MATERIAL IS TO BE STOCKPILED AS SHOWN / DIRECTED WITH SILT FENCE AND UPSTREAM DIVERSION BANKS.
- E6 DURING TRENCH EXCAVATION, ALL SPOIL IS TO BE PLACED ON THE UPSTREAM SIDE OF THE TRENCH AND TO THE SUPERINTENDENT'S REQUIREMENT.
- E7 DUST SUPPRESSION MEASURES ARE TO BE CARRIED OUT IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
- E8 PROVIDE AND MAINTAIN SILT TRAPS AROUND ALL SURFACE INLET PITS UNTIL CATCHMENT IS VEGETATED OR PAVED.
- E9 A TUNE STRIP SHALL BE PROVIDED BEHIND ALL KERBS, INLET PITS AND GRABNS AT THE COMPLETION OF THEIR FORMATION.
- E10 TOPSOIL SHALL NOT BE REUSE ON AREAS OTHER THAN SPECIFIED, IE: TURF / LANDSCAPE, FOOTPATH, CATCH OR SWALE DRAINS.
- E11 ALL DISTURBED AREAS ARE TO BE TURF/SEEDED AND FERTILIZED WITHIN 10 DAYS OF EXPOSURE. THEY SHALL BE ADEQUATELY WATERED TO PROMOTE GROWTH. GROWTH SHALL BE TO THE COUNCIL SUPERINTENDENT'S SATISFACTION. THE CONTRACTOR IS NOT COMPLETE UNTIL THE REVEGETATION IS ACCEPTED BY COUNCIL. SOME AREAS MAY REQUIRE THE PLACEMENT OF TURF TO ACHIEVE SATISFACTORY REVEGETATION.
- E12 TRUCKS REMOVING EXCAVATED/DEMOLISHED MATERIAL SHOULD TRAVEL ON STABILISED CONSTRUCTION PATHS AND ALL WEATHER SITE ACCESS PROVIDED IN ACCORDANCE WITH COUNCIL REQUIREMENTS. ANY SEDIMENT DEPOSITED ON THE ROAD OR ROAD RESERVE IS TO BE REMOVED IMMEDIATELY.
- E13 CONCRETE PUMPS AND CRANES MUST NOT OPERATE FROM THE FOOTPATH OR ROADWAY UNLESS SPECIFIC COUNCIL PERMISSION IS OBTAINED.
- E14 PEDESTRIAN AND TRAFFIC CONTROL MEASURES ARE REQUIRED TO BE IMPLEMENTED AND MAINTAINED DURING CONSTRUCTION IN ACCORDANCE WITH AS1122 MANUAL OF URBAN TRAFFIC CONTROL DEVICES.
- E15 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL MEASURES ARE TAKEN DURING THE COURSE OF THE CONSTRUCTION TO PREVENT SEDIMENT EROSION AND POLLUTION OF THE DOWNSLOPE SYSTEM. ALL SEDIMENT CONTROL DEVICES TO BE INSPECTED AFTER EACH RAINFALL EVENT FOR DAMAGE AND TRAPPED SEDIMENT TO BE REMOVED TO A NOMINATED STOCKPILE.

SCHEDULE OF DRAWINGS

SHEET No	DESCRIPTION
C01	GENERAL NOTES
C02	SURVEY & ASSESSMENT OF EXISTING
C03	SITE DRAINAGE PLAN - GROUND FLOOR
C04	SITE DRAINAGE PLAN - BASEMENT 1
C05	SITE DRAINAGE PLAN - BASEMENT 2
C06	SITE DRAINAGE PLAN - ROOF
C07	SITE MANAGEMENT AND EROSION & SEDIMENT CONTROL PLAN
C08	CONCEPT PLAN OF DRAINAGE WORKS - CHURCH POINT STREET
C09	DETAILS

PLAN OF CIVIL WORKS TRIVETT CAR SHOWROOM CHURCH STREET, PARRAMATTA



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- THESE MAY INCLUDE EXCAVATION, REINFORCEMENT PRIOR TO CONCRETE POURING, PIPES & PITS PRIOR TO BACKFILL, FRAMING PRIOR TO COVERING, FINAL INSPECTION AND OTHER FOR VARIOUS CERTIFICATIONS.

UNDERGROUND SERVICES SEARCH SHOULD BE UNDERTAKEN PRIOR TO ANY EXCAVATION TAKING PLACE UPON THE SITE.



CONCEPT DESIGN FOR DA, 13/02/12

B	13/02/12	ADDITIONAL INFO
A	31/5/11	BOX CULVERT SPECIFICATION
NO.	DATE	REVISION DETAILS

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Civil & Structural Consulting Engineers

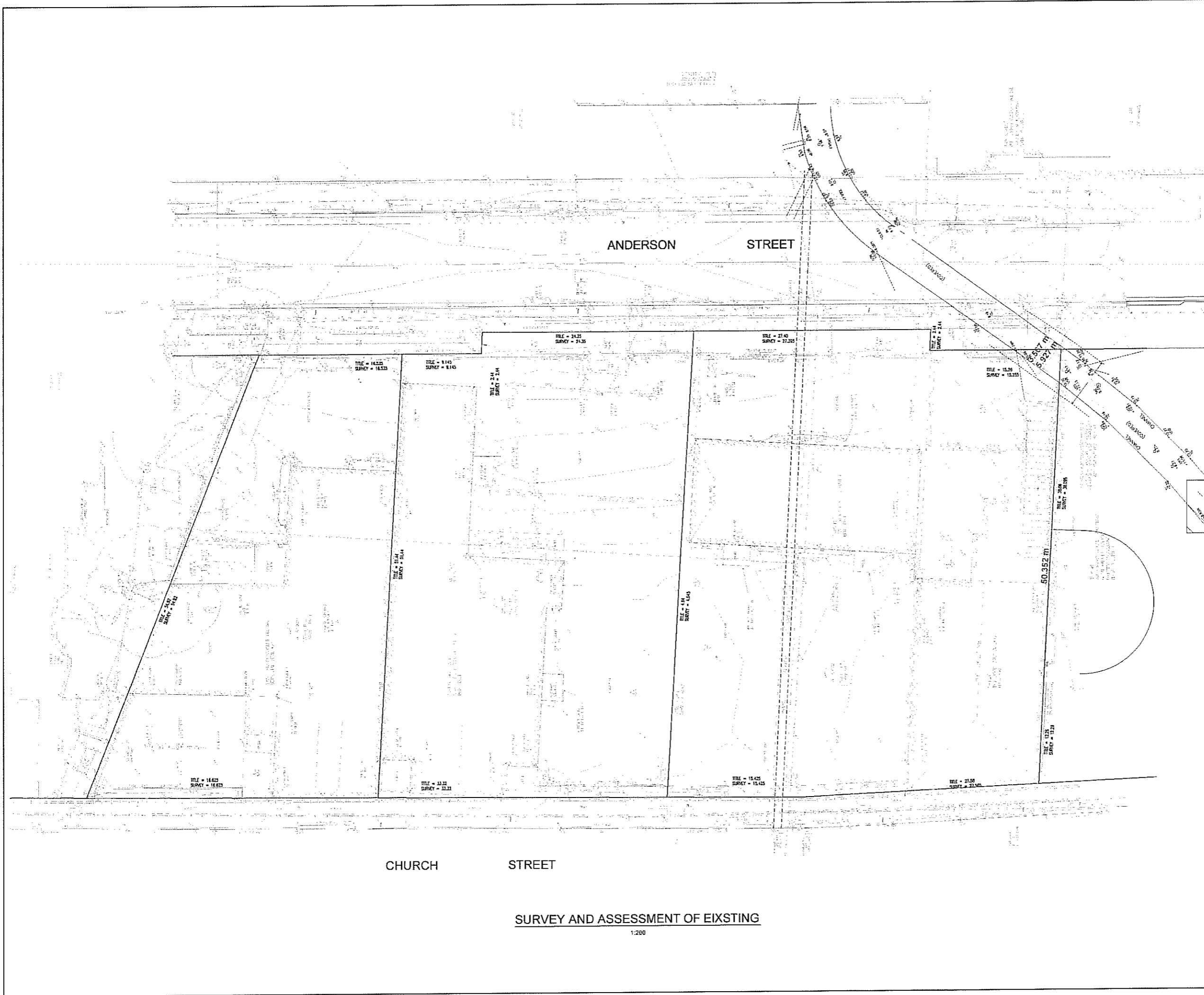
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- URBAN DESIGN SERVICES
- ROAD & PAVEMENT DESIGN
- PROJECT MANAGEMENT
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PREPARED BY:
MASON GROUP DESIGN & CONSTRUCTION PTY LTD

**TRIVETT CAR SHOWROOM
CHURCH STREET, PARRAMATTA**

ORIGINAL SIZE:	A1	
SCALE:	1:1000	DATUM: AHD
LONG SECTION H:		CROSS SECTION H:
	V:	V:
DATE OF PLAN:	10/02/11	APPROVED:
CHECKED:	C.P.M.	
DRAWN:	P.S.	
DATE:	09/11/2011	SHEET 1 OF 9 SHEETS



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- THESE MAY INCLUDE EXCAVATION REINFORCEMENT PRIOR TO CONCRETE POURING, PILLS & PITS PRIOR TO BACKFILL, FRAMING PRIOR TO COVERING, FINAL INSPECTION, AND OTHER FOR VARIOUS CERTIFICATIONS.

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CONCEPT DESIGN FOR DA, 13/02/12

B	13/02/12	ADDITIONAL INFO
A	31/8/11	BOX CULVERT SPECIFICATION
NO.	DATE	REVISION / DETAILS

PREPARED BY
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PREPARED FOR
MASON GROUP DESIGN & CONSTRUCTION PTY LTD

**TRIVETT CAR SHOWROOM
 CHURCH STREET, PARRAMATTA**

ORIGINAL SIZE:	A1
SCALE	1:200
DATUM	AHD
LONG SECTION H:	CROSS SECTION H:
V:	V:
DATE OF PLAN	10/02/11
CHECKED	C.P.M.
DRAWN	P.S.
DATE OF PLAN	10/02/11
CHECKED	C.P.M.
DRAWN	P.S.
DATE OF PLAN	10/02/11
CHECKED	C.P.M.
DRAWN	P.S.

SURVEY AND ASSESSMENT OF EXISTING

1:200

CONTRACTOR TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL COUNCIL AND STATE AUTHORITIES. THIS DOCUMENT IS AN ELECTRONIC AND HARD COPY FORMAT AND SHALL REMAIN THE PROPERTY OF CPM ENGINEERING. THE INFORMATION CONTAINED HEREIN IS FOR THE EXCLUSIVE USE OF THE CLIENT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CPM ENGINEERING.

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LEGEND

- STORMWATER PIT
- DOWN PIPE
- EXISTING LEVEL
- PROPOSED LEVEL
- PROPOSED STORMWATER LINE
- SURFACE FLOW DIRECTION

CONCEPT DESIGN FOR DA, 13/02/12

B	13/02/12	ADDITIONAL INFO
A	31/8/11	BOX CULVERT SPECIFICATION
No.	DATE	REVISION DETAILS

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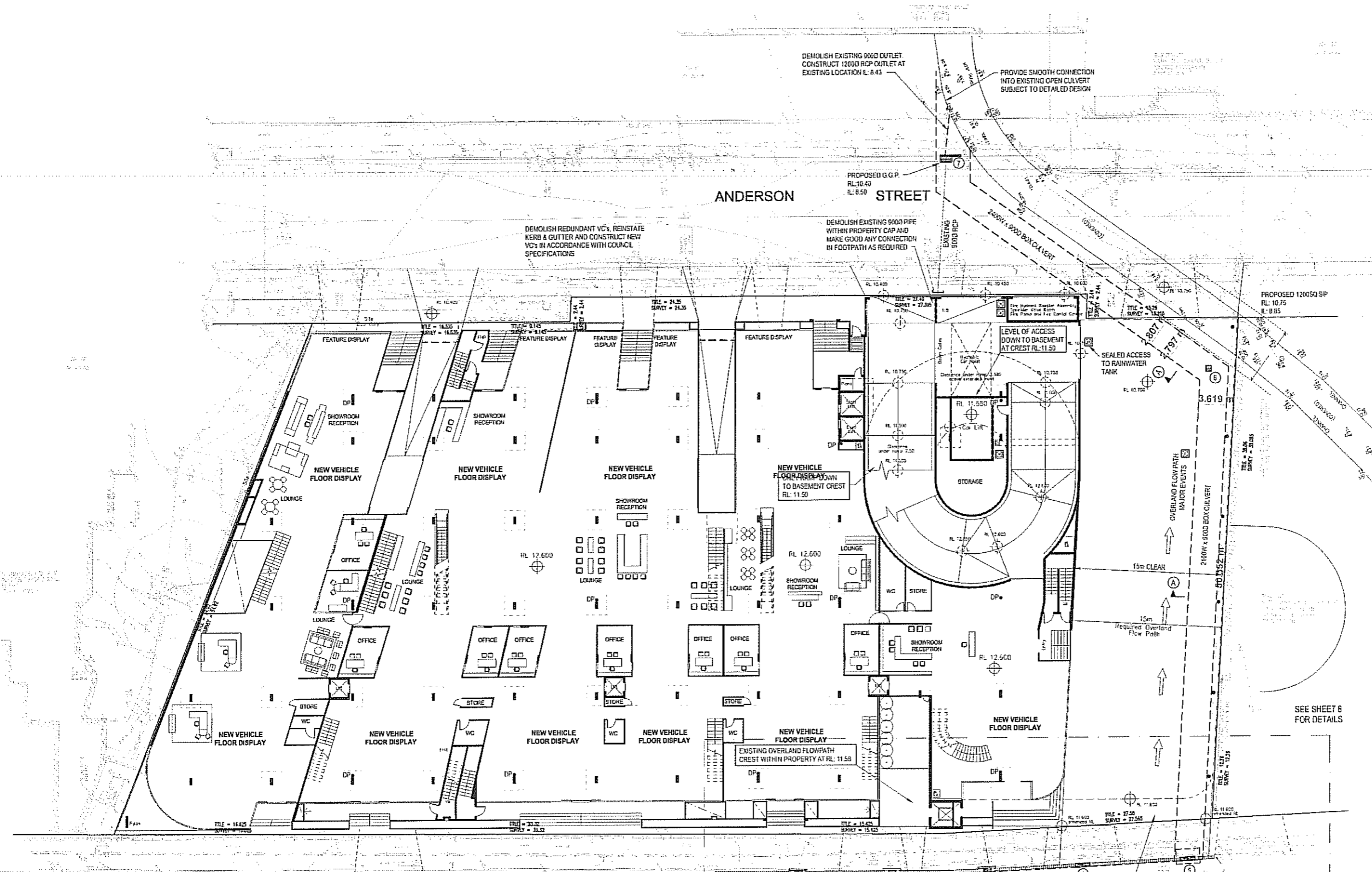
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- VEHICULAR DAMAGE DESIGN
- ROAD & PAVEMENT DESIGN
- PROJECT MANAGEMENT
- ENVIRONMENTAL DESIGN

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TRIVETT CAR SHOWROOM
 CHURCH STREET, PARRAMATTA

ORIGINAL SIZE:	A1
SCALE:	1:200
DATE:	18/02/11
CHECKED:	CPM
DRAWN:	P.S.
NO. OF SHEETS:	04/15/07/11
SHEET NO.:	3 OF 9 SHEETS



SITE DRAINAGE PLAN - GROUND FLOOR
 1:200

SEE SHEET B FOR DETAILS

1. Provide connection details of the rainwater tank outlet and overflow to the street stormwater system.
2. The rainwater tank shall be fully sealed water tight in order to prevent the surface/overland flow leaking into the tank and contaminating the stored water. Appropriate measures shall be undertaken to ensure that the tank is free from infiltration, leaks, etc.
3. No connection into the adjacent Box Culvert (BC) shall be made as flow through it is under pressure and likely to backflow into the rainwater tank.
4. The connection shall be made at the downstream side only where the hydraulic grade line is at least 300mm below the overflow level at the rainwater tank. a detailed long section profile with hydraulic grade line (HGL), surface levels, pipe material and size, pipe invert levels, pipe gradient, etc shall be prepared and submitted to Council's City Infrastructure Unit for approval prior to commencement of the work.

EQUIPMENT IN PROVISION:
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UNDERGROUND SERVICES SEARCH SHOULD BE UNDERTAKEN PRIOR TO ANY EXCAVATION TAKING PLACE UPON THE SITE.



- LEGEND**
- STORMWATER PIT
 - DOWN PIPE
 - EXISTING LEVEL
 - PROPOSED LEVEL
 - PROPOSED STORMWATER LINE
 - SURFACE FLOW DIRECTION

CONCEPT DESIGN FOR DA, 13/02/12

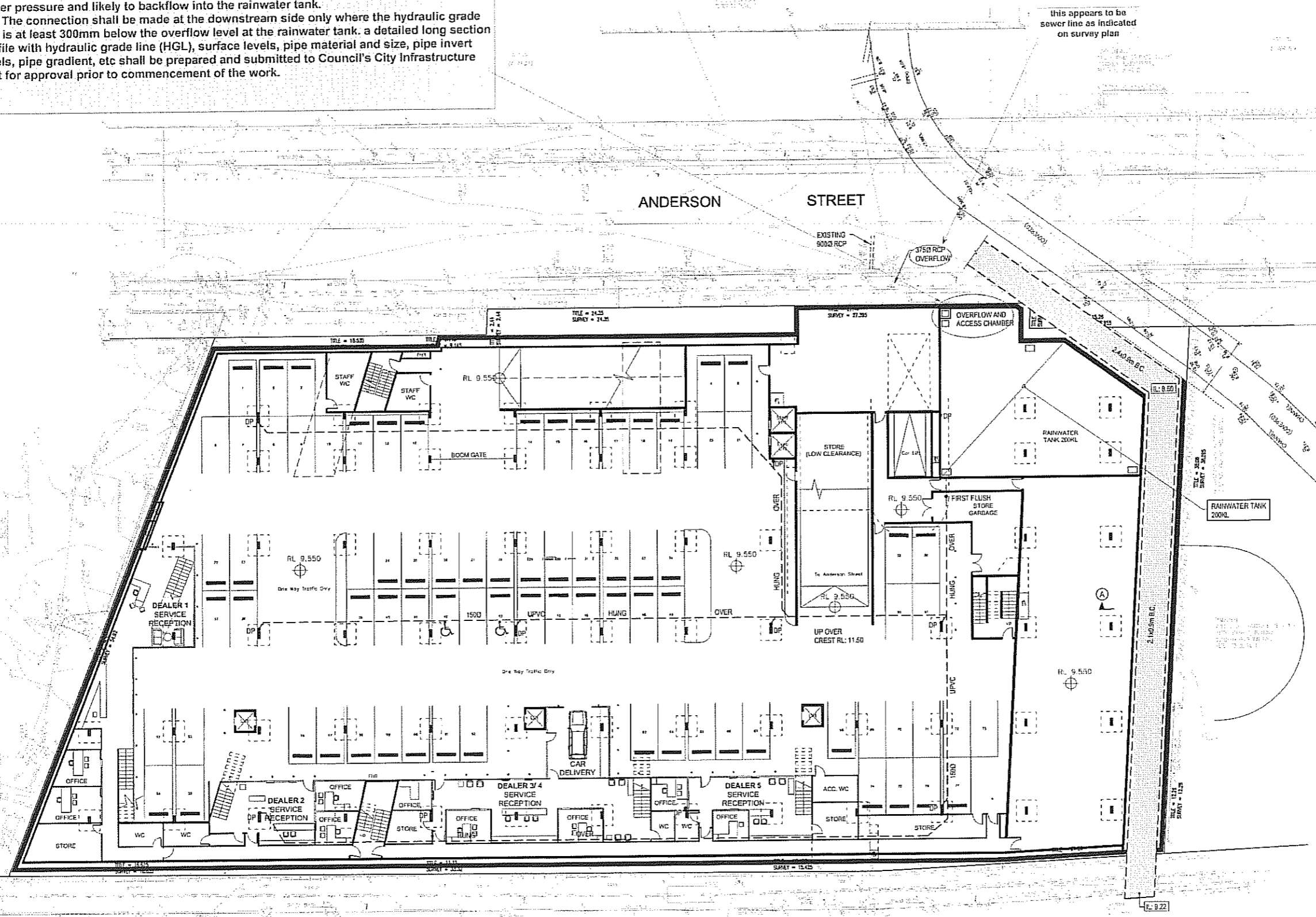
No.	DATE	REVISION DETAILS
B	13/02/12	ADDITIONAL INFO
A	31/08/11	BOX CULVERT SPECIFICATION

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 • ENVIRONMENTAL DESIGN

PREPARED BY:
 MASON GROUP DESIGN & CONSTRUCTION PTY LTD

TRIVETT CAR SHOWROOM
 CHURCH STREET, PARRAMATTA

ORIGINAL SIZE:	A1
SCALE: 1:200	DATUM: AHD
LONG SECTION: H	CROSS SECTION: H
DATE OF PLAN: 15/02/11	APPROVED:
CHECKED: C.P.M.	DRAWN: P.S.
NO. OF SHEETS: 09/115-C04-A	SHEET: 2 OF 9 (54679)



Approved Stormwater Plan
 This approval relates only to the stormwater proposal subject to the following requirements:
 1. This Stormwater Plan shall not be used as Construction Certificate Plan/ Construction Drawing.
 2. Separate plan(s) shall be prepared addressing the issues and incorporating notes, comments and rectification requirements annotated on this plan for Construction Certificate Approval.

CHURCH STREET
 ANDERSON STREET
 SITE DRAINAGE PLAN - BASEMENT 1
 1:200

Approved Stormwater Plan

This approval relates only to the stormwater proposal subject to the following requirements:

- 1. This Stormwater Plan shall not be used as Construction Certificate Plan/Construction Drawing.**
- 2. Separate plan(s) shall be prepared addressing the issues and incorporating notes, comments and rectification requirements annotated on this plan for Construction Certificate Approval.**

THESE DOCUMENTS ARE PRELIMINARY AND SUBJECT TO CHANGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED IN THESE DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE RELEVANT AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE RELEVANT AUTHORITIES.

ENGINEERING INSPECTIONS - 48hrs NOTICE IS REQUIRED

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- THESE PLAN PRELIMINARY EXCAVATIONS REQUIREMENT PRIOR TO COMMENCEMENT OF WORK. FINAL INSPECTION AND OTHER FOR VARIOUS CERTIFICATIONS.

UNDERGROUND SERVICES SEARCH SHOULD BE UNDERTAKEN PRIOR TO ANY EXCAVATION TAKING PLACE UPON THE SITE.



LEGEND

- STORMWATER PIT
- DP • DOWN PIPE
- EXISTING LEVEL
- RL 17.34 PROPOSED LEVEL
- PROPOSED STORMWATER LINE
- SURFACE FLOW DIRECTION

CONCEPT DESIGN FOR DA, 13/02/12

B	13/02/12	ADDITIONAL INFO
A	31/8/11	BOX CULVERT SPECIFICATION
	DATE	REVISION DETAILS

CPM ENGINEERING
Civil & Structural Consulting Engineers

- STRUCTURAL DESIGN & INVESTIGATION
- URBAN DRAINAGE DESIGN
- ROAD & PAVEMENT DESIGN
- PROJECT MANAGEMENT
- ENVIRONMENTAL DESIGN

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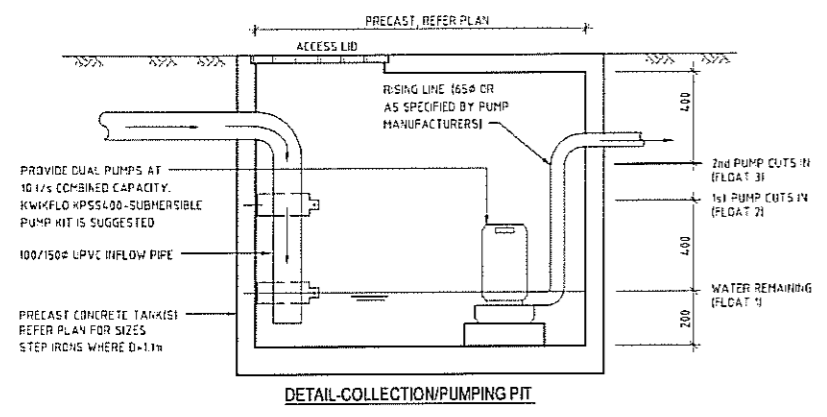
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**TRIVETT CAR SHOWROOM
CHURCH STREET, PARRAMATTA**

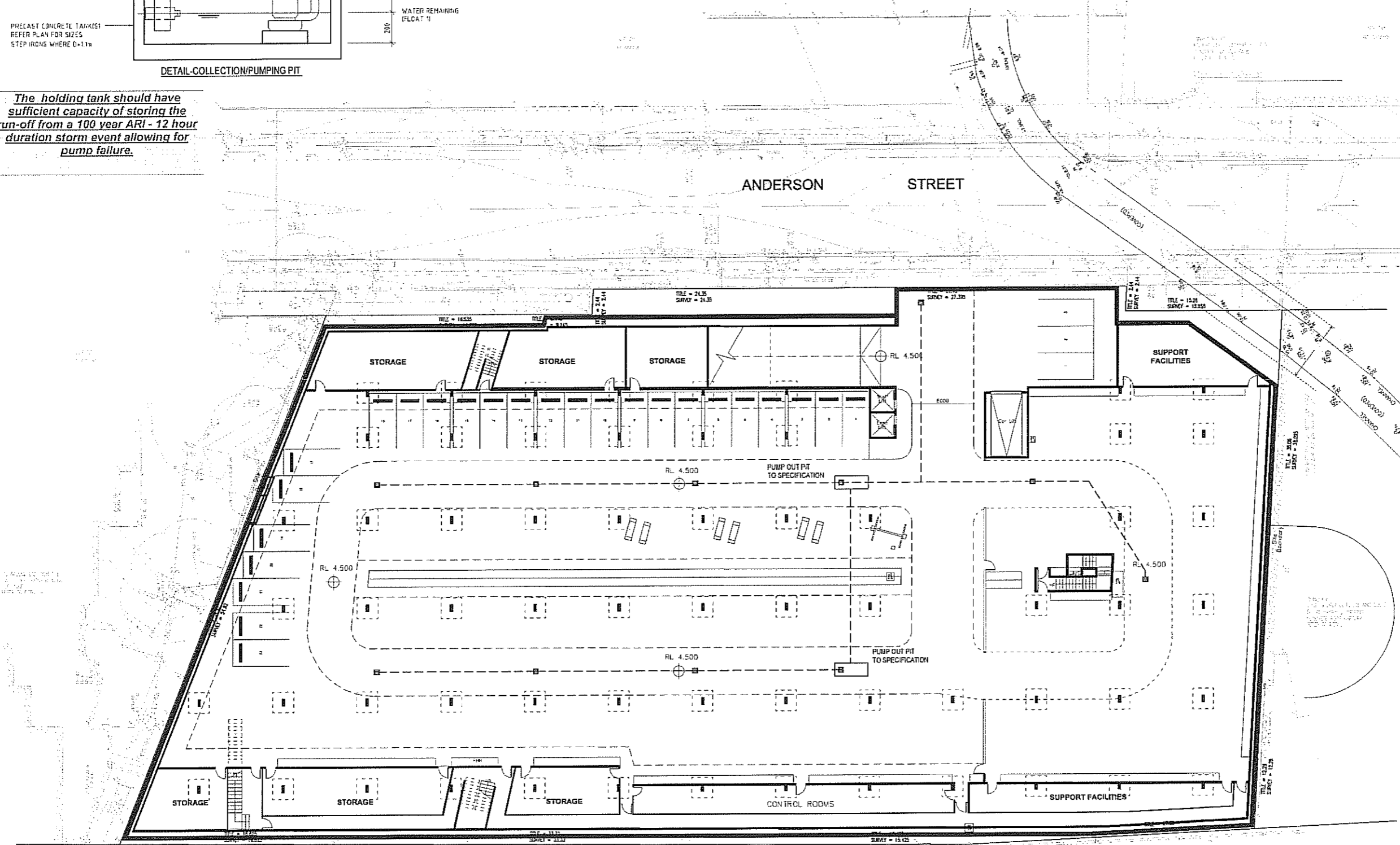
ORIGINAL SIZE	A1	
SCALE	1:200	DATUM AHD
LONG SECTION H:		CROSS SECTION H:
	V:	V:
DATE OF PLAN	18/02/11	APPROVED
CHECKED	C.P.M.	
DRAWN	P.S.	
DATE	09/11/11	HEET 5 OF 9 SHEET

BASEMENT DRAINAGE

- 100 WIDE GRAATED DRAIN TO BE CONSTRUCTED AT BASEMENT ENTRANCE. DRAIN TO BE 400 DEEP. DRAINING AT 3% TO CURBLET PROVIDE 1500 UPVC SEWER GRADE AT 10% TO COLLECTION/PUMP PIT GRATING TO BE GALVANISED STEEL GRATE 1 FRAME.
- CONSTRUCT FLOOR WASTE OR 300 SQUARE CONCRETE PIT AT BASE OF STAIRS PROVIDE 1500 UPVC SEWER GRADE AT 10% TO COLLECTION/PUMP PIT
- GRADE BASEMENT SLAB TO ADDITIONAL 3 FLOOR WASTES OR 300 SQUARE CONCRETE PITS EQUALLY SPACED ALONG CENTRE OF BASEMENT. PROVIDE 1500 UPVC SEWER GRADE AT 10% TO COLLECTION/PUMP PIT



The holding tank should have sufficient capacity of storing the run-off from a 100 year ARI - 12 hour duration storm event allowing for pump failure.



CHURCH STREET

SITE DRAINAGE PLAN - BASEMENT 2

1:200

CONCEPT DESIGN FOR DA, 13/02/12

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- THESE MAY INCLUDE EXCAVATION, REINFORCEMENT PRIOR TO CONCRETE POURING, PIPES & FITS PRIOR TO BACKFILL, FRAMING PRIOR TO EXCAVATING, FINAL INSPECTION AND OTHER FOR VARIOUS CERTIFICATIONS.

UNDERGROUND SERVICES SEARCH SHOULD BE UNDERTAKEN PRIOR TO ANY EXCAVATION TAKING PLACE UPON THE SITE.



CONCEPT DESIGN FOR DA, 13/02/12

No.	DATE	REVISION DETAILS
B	13/02/12	ADDITIONAL INFO
A	31/01/11	BOX CULVERT SPECIFICATION

CPM ENGINEERING
 Civil & Structural Consulting Engineers

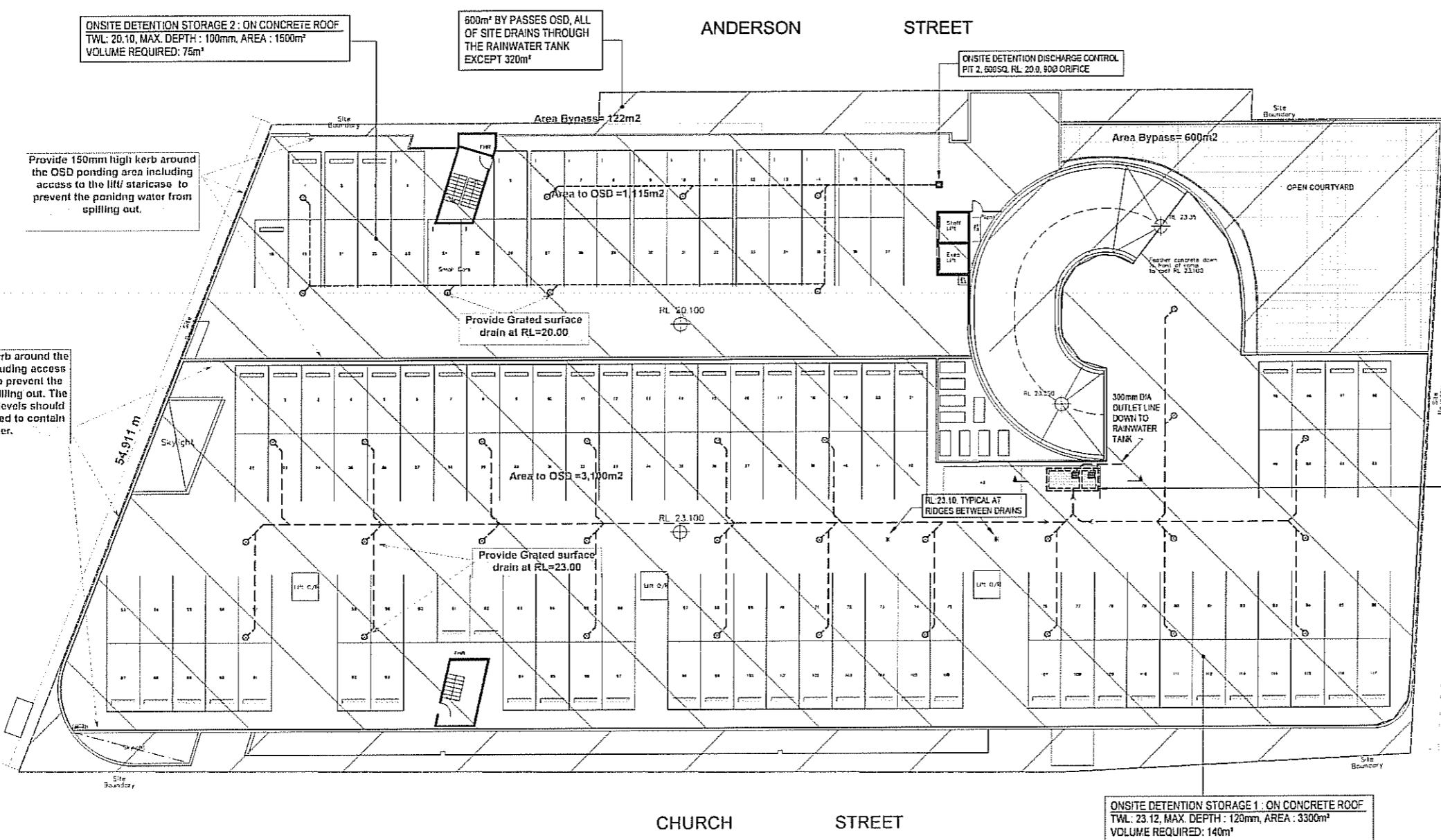
- STRUCTURAL DESIGN & INVESTIGATION
- URBAN DRAINAGE DESIGN
- ROAD & PAVEMENT DESIGN
- PROJECT MANAGEMENT
- ENVIRONMENTAL DESIGN

P.O. BOX 1200
 DUFFIELD ROAD NEWCASTLE
 NSW 1588
 PH: (02) 8542 2022
 FAX: (02) 8542 2023
 EMAIL: cpm@cpm.com.au

PREPARED FOR:
MASON GROUP DESIGN & CONSTRUCTION PTY LTD

TRIVETT CAR SHOWROOM
 CHURCH STREET, PARRAMATTA

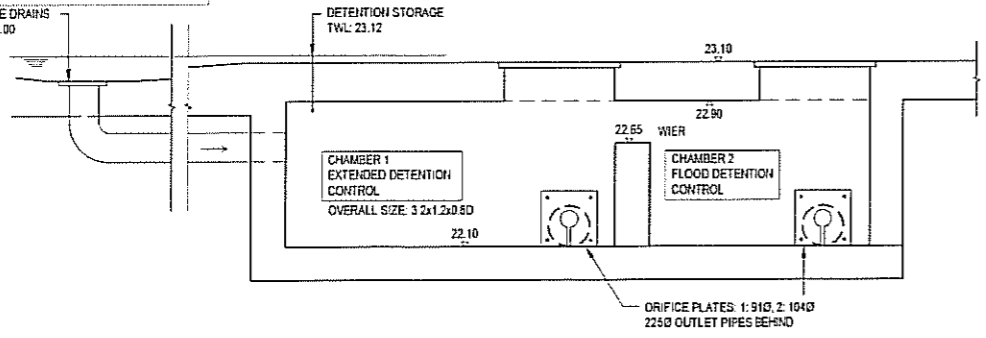
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SCALE	1:200	DATUM
LONG SECTION H:		CROSS SECTION H:
V:		V:
DATE OF PLAN	10/02/11	APPROVED
CHECKED	C.P.M.	CREATED BY
DRAWN	P.S.	DATE
DATE	09/11/11	SCALE



SITE DRAINAGE PLAN - ROOF

1:200

Provide grated surface drain for
 i) Roof top (Level 3) at RL=23.00
 ii) Second Floor (Level 2) at RL = 20.00



ON-SITE DETENTION CONTROL PIT - SECTION

1:20

Approved Stormwater Plan

This approval relates only to the stormwater proposal subject to the following requirements:

- 1. This Stormwater Plan shall not be used as Construction Certificate Plan/ Construction Drawing.*
- 2. Separate plan(s) shall be prepared addressing the issues and incorporating notes, comments and rectification requirements annotated on this plan for Construction Certificate Approval.*

CONCEPT DESIGN FOR DA, 13/02/12

ENGINEERING INSPECTIONS - 48hrs NOTICE IS REQUIRED

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CONCEPT DESIGN FOR DA, 13/02/12

B	13/02/12	ADDITIONAL INFO
A	31/5/11	BOX CULVERT SPECIFICATION
No.	DATE	REVISION DETAILS

CPM ENGINEERING
 Civil & Structural Consulting Engineers

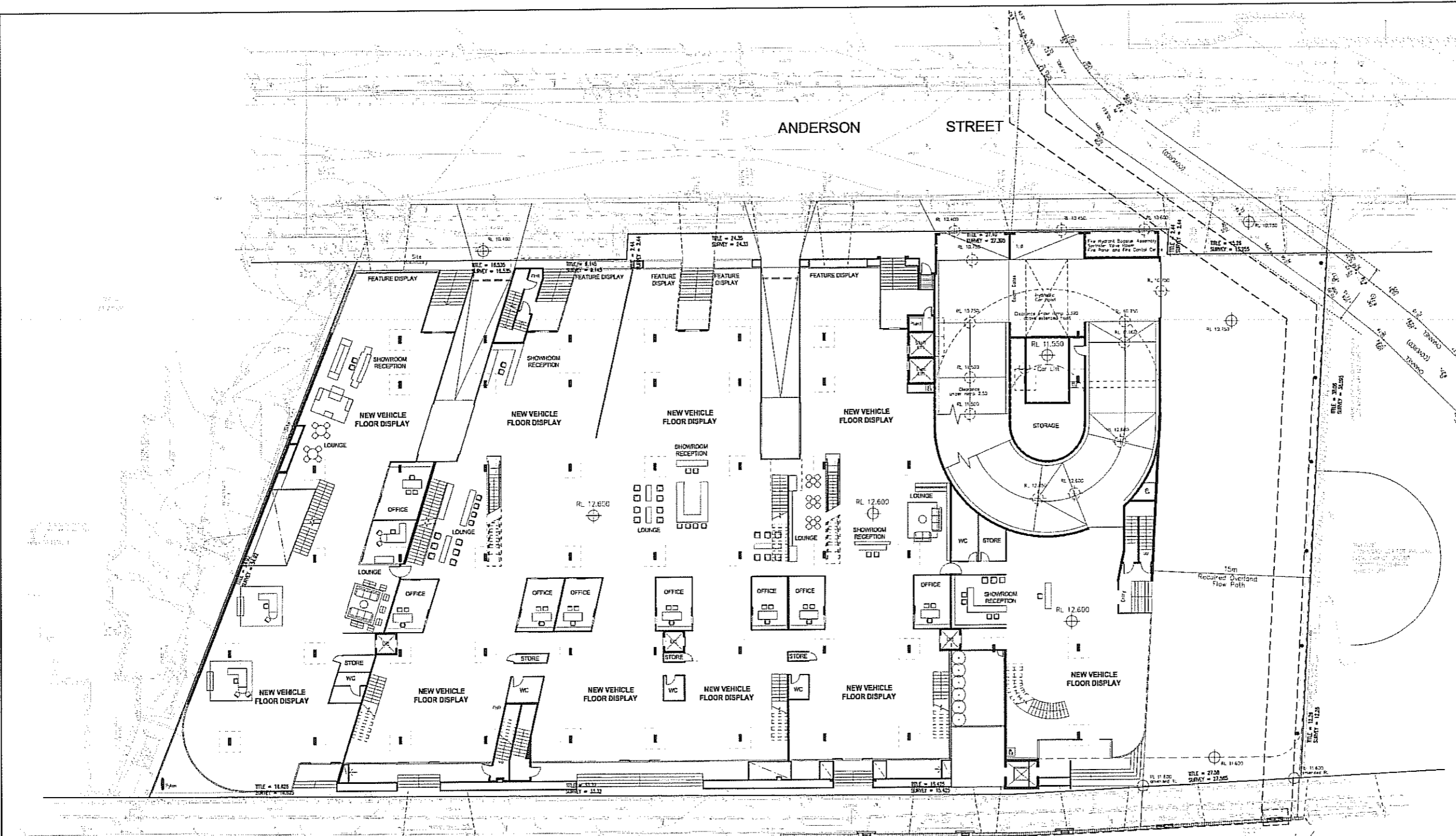
- STRUCTURAL DESIGN & INVESTIGATION
- URBAN DRAINAGE DESIGN
- ROAD & PAVEMENT DESIGN
- PROJECT MANAGEMENT
- ENVIRONMENTAL DESIGN

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 Email: cpm@cpmengineering.com.au

PREPARED FOR:
MASON GROUP DESIGN & CONSTRUCTION PTY LTD

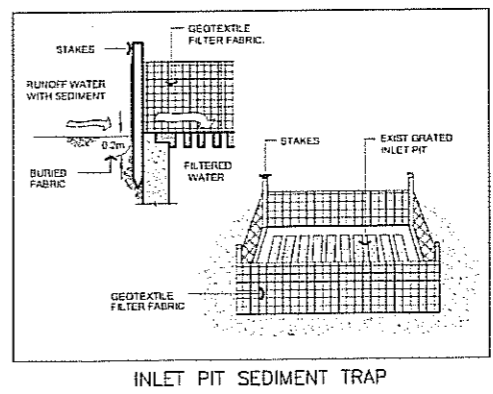
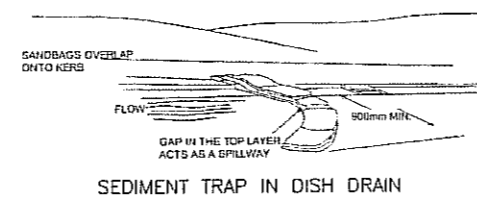
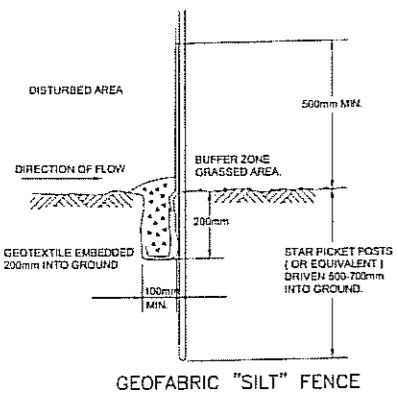
TRIVETT CAR SHOWROOM
 CHURCH STREET, PARRAMATTA

ORIGINAL SIZE:	A1
SCALE: 1:200	DATUM: AHD
LONG SECTION: H:	CROSS SECTION: H:
V:	V:
DATE OF PLAN: 18/02/11	APPROVED:
CHECKED: C.P.M	Checked By:
DRAWN: P.S.	DATE: 18/02/11
DATE: 18/02/11	SCALE: 1:200
NO: 00115_017.A	SHEET 7 OF 9 SHEETS

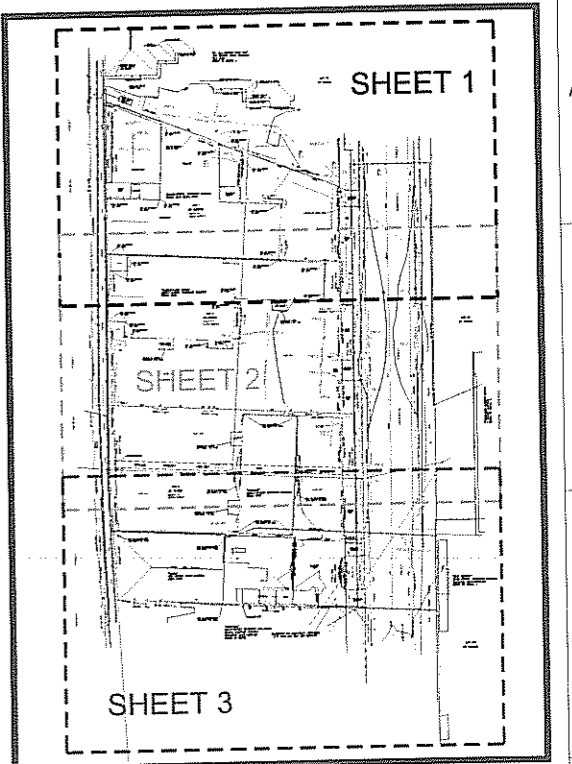
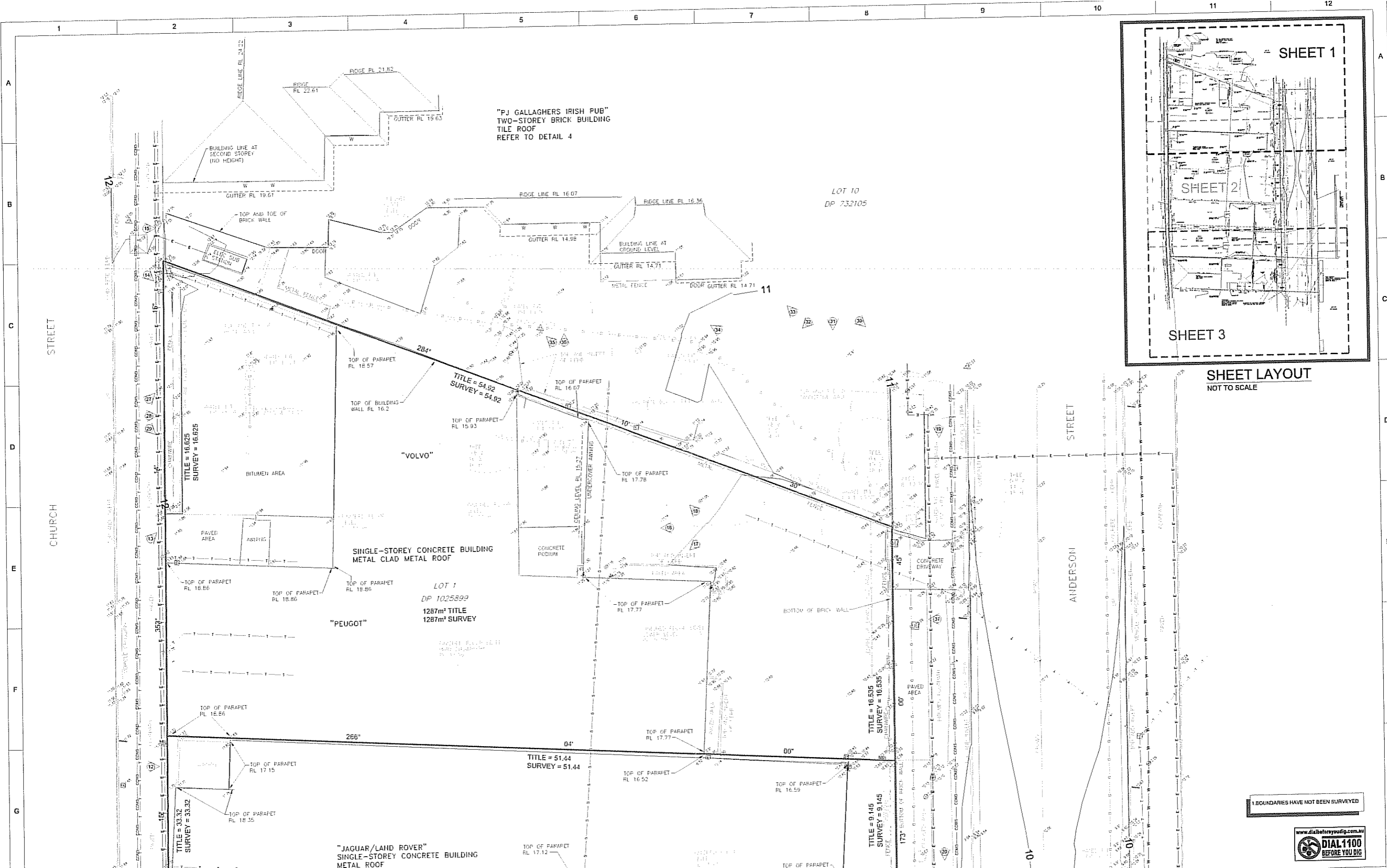


SITE MANAGEMENT AND EROSION & SEDIMENT CONTROL PLAN

1:200



INLET PIT SEDIMENT TRAP



SHEET LAYOUT
NOT TO SCALE

BOUNDARIES HAVE NOT BEEN SURVEYED



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This note is an integral part of this plan.

LEGEND

W UNGLASS MANHOLE	UNGLASS ELECTRICITY	STATE SURVEY MARK	STATE SURVEY MARK
UNGLASS SEWER	POWER POLE	SURVEY MARK	SURVEY MARK
SEWER VENT	LIGHT POLE	TOP OF PARAPET	TOP OF PARAPET
SEWER LAMP HOLE	ELECTRICITY PIT	TOP OF PARAPET	TOP OF PARAPET
UNGLASS TEL STRA	UNGLASS WATER	TOP OF PARAPET	TOP OF PARAPET
TWO TEL STRA PIT	WATER METER	TOP OF PARAPET	TOP OF PARAPET
TEL STRA PIT	STOP VALVE	TOP OF PARAPET	TOP OF PARAPET
CONCRETE	TAP	TOP OF PARAPET	TOP OF PARAPET
CONCRETE	HYDRANT	TOP OF PARAPET	TOP OF PARAPET
CONCRETE		TOP OF PARAPET	TOP OF PARAPET
CONCRETE		TOP OF PARAPET	TOP OF PARAPET

FOR CONTINUATION SEE SHEET 2

REVISION	DATE	DESCRIPTION	APPROVED
01	01-10-09	MINOR AMENDMENTS	CWH
00	29-09-09	ORIGINAL ISSUE	CWH
			113937AA
			CCAD REF

SCALE:	HORIZ 1:100	VERT.
CONTOUR INTERVAL:	MAJOR 1.0m	MINOR 0.2m
HORIZONTAL ORIGIN		
COORD. SYSTEM	MGA	MARK ADOPTED: 55M 44076
		COORDINATES:
		E 316 298 017
		N 6 255 930 862
VERTICAL DATUM		
DATUM:	AHD	BM ADOPTED: 55M 44076
		RL: 11.587m

HARD & FORESTER
HARD & FORESTER
23-25 Frederick Street
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Rockdale NSW 2216
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1 (02) 9597 8700
1 (02) 9599 2146
e: survey@hardforester.com.au
www.hardforester.com.au

Consulting Surveyors

Hard & Forester Pty Ltd ABN 67 003 541 243

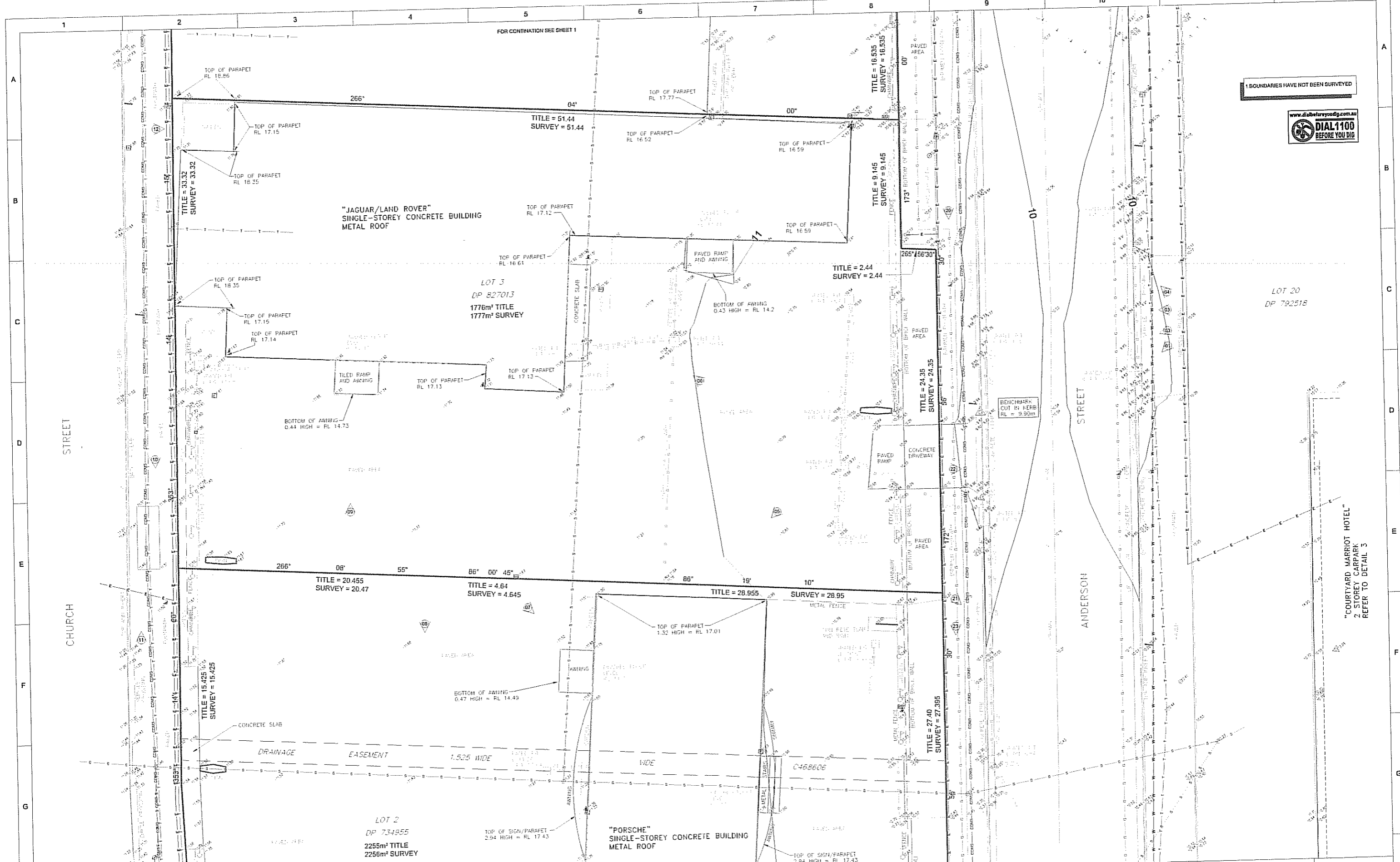
SURVEYED	M.C.	DRAWN	J.T.	CHECKED	PASSED
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PROJECT: **DETAIL SURVEY OF TRIVETT CAR SHOWROOM CHURCH STRETT, PARRAMATTA**

SHEET 1 OF 4

DRAWING NUMBER	REV
113937500	01

CLIENT: **MANSON GROUP PTY LTD**



1 BOUNDARIES HAVE NOT BEEN SURVEYED



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LEGEND:

SEWER MANHOLE	UNGLASS ELECTRICITY	STATE SURVEY MARK	ROAD
UNGLASS SEWER	POWER POLE	STATE SURVEY MARK	ROAD
SEWER VENT	LIGHT POLE	STATE SURVEY MARK	ROAD
SEWER LAMP HOLE	ELECTRICITY PIT	STATE SURVEY MARK	ROAD
TELESTRATA 100V	UNGLASS SERVICE	STATE SURVEY MARK	ROAD
UNGLASS TELSTRA	UNGLASS WATER	STATE SURVEY MARK	ROAD
TRIN TELSTRA PIT	WATER METER	STATE SURVEY MARK	ROAD
TELESTRAT PIT	STOP VALVE	STATE SURVEY MARK	ROAD
TELESTRAT PIT	TAP	STATE SURVEY MARK	ROAD
TELESTRAT PIT	HYDRANT	STATE SURVEY MARK	ROAD
TELESTRAT PIT	HYDRANT	STATE SURVEY MARK	ROAD

REVISION	DATE	DESCRIPTION	APPROVED
01	01-10-09	MINOR AMENDMENTS	CWH
00	29-09-05	ORIGINAL ISSUE	CWH
			113037AA
			CCAD REF

SCALE: HORIZ. 1:100 VERT. 1:100
 CONTOUR INTERVAL: MAJOR 1.0m MINOR 0.2m
 COORD. SYSTEM: MGA
 DATUM: AHD
 HORIZONTAL ORIGIN: MARK ADOPTE: SSM 44976
 COORDINATES: E 113 298 000 N 6 206 633 862
 VERTICAL DATUM: BM ADOPTE: SSM 44076
 RL: 11.887m

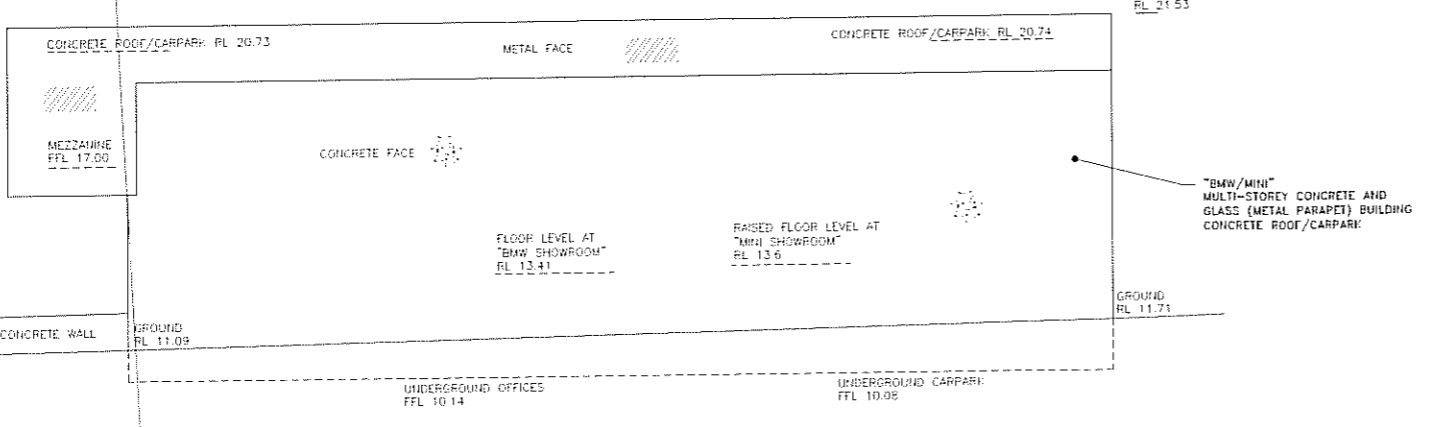
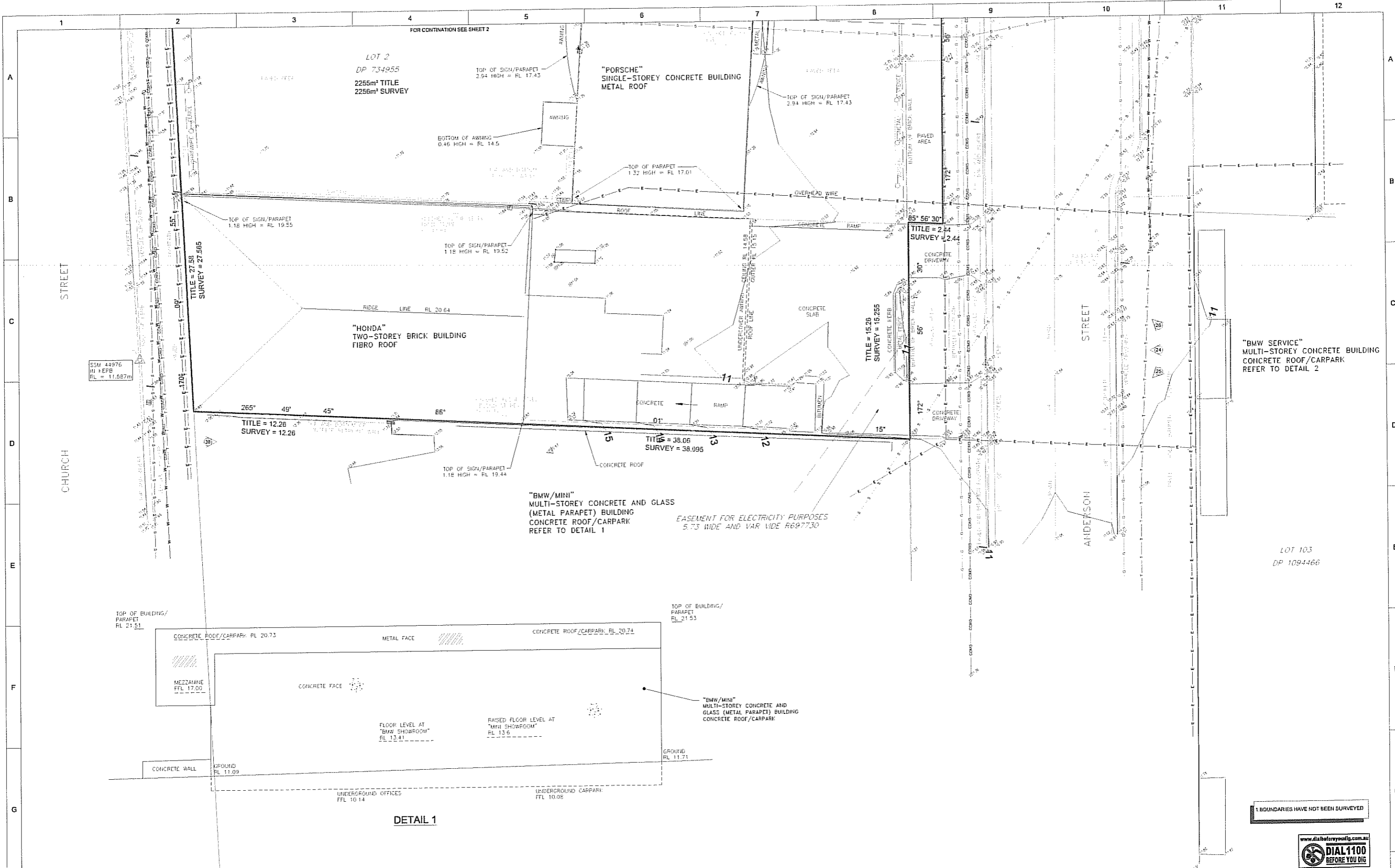
HARD & FORESTER HARD & FORESTER
 21-25 Frederick Street
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 DX11116 Parramatta
 T (02) 9591 3700
 F (02) 9599 2146
 e. survey@hardforester.com.au
 www.hardforester.com.au

Consulting Surveyors

PROJECT: **DETAIL SURVEY OF TRIVETT CAR SHOWROOM CHURCH STRETT, PARRAMATTA**

CLIENT: **MANSON GROUP PTY LTD**

SHEET 2 OF 4
DRAWING NUMBER: 113937500
REV: 01



1. BOUNDARIES HAVE NOT BEEN SURVEYED



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LEGEND:

SEWER MANHOLE	UNGLASS ELECTRICITY	CONCRETE PIT	TRAMPING SIGNAL PIT
UNGLASS BOWER	POWER POLE	CONCRETE PIT	STANCHION
SEWER VENT	LIGHT POLE	STATE SURVEY MARK	ROADSIDE
SEWER LAMP POLE	ELECTRICITY PIT	SURVEY MARK	ROADSIDE
TELSTRATA PIT 1 DUG	UNGLASS SERVICE	CONCRETE PIT	CONCRETE PIT
UNGLASS TELSTRATA	UNGLASS WATER	CONCRETE PIT	CONCRETE PIT
TELSTRATA PIT	WATER METER	CONCRETE PIT	CONCRETE PIT
TELSTRATA PIT	STOP VALVE	CONCRETE PIT	CONCRETE PIT
CONCRETE PIT	TAP	CONCRETE PIT	CONCRETE PIT
CONCRETE PIT	HYDRANT	CONCRETE PIT	CONCRETE PIT

REVISION	DATE	DESCRIPTION
01	01-10-09	MINOR AMENDMENTS
02	29-09-09	ORIGINAL ISSUE

SCALE:	HORIZ. 1:100	VERT. 1:20
CONTOUR INTERVAL:	MAJOR 10m	MINOR 0.2m
COORD. SYSTEM:	MGA	MARK ADOPTED: SSM 44976
DATUM:	AHD	BM ADOPTED: SSM 44976

B1

HARD & FORESTER
23-25 Frederick Street
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Dial 1116
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www.hardforester.com.au

Consulting Surveyors

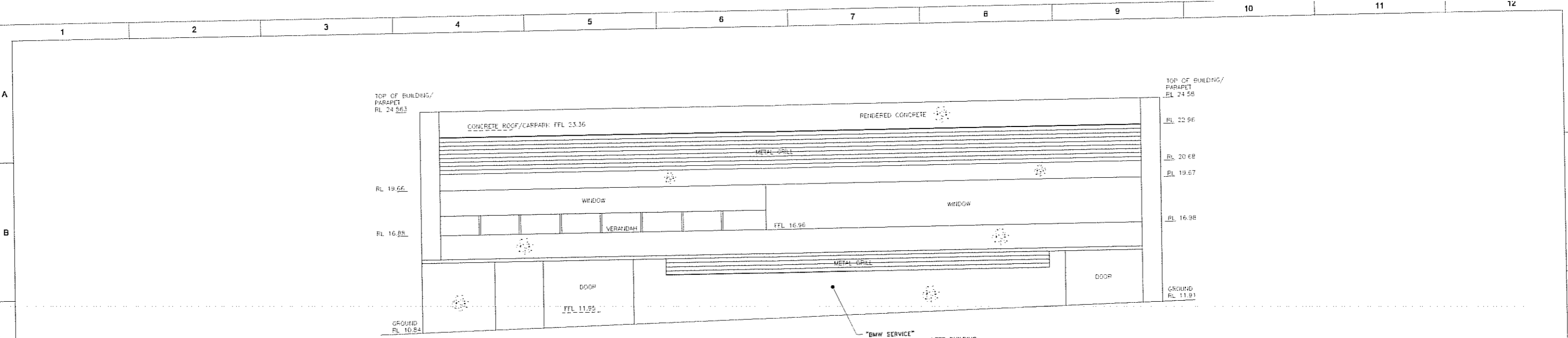
Hard & Forester Pty Ltd ABN 87 023 541 548

SURVEYED	MC	CHECKED	PASSED
DRAWN	JT	APPROVED	

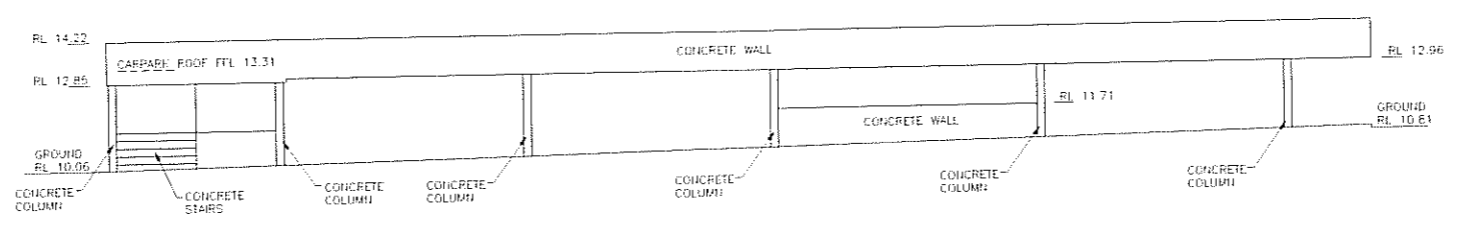
PROJECT: **DETAIL SURVEY OF TRIVETT CAR SHOWROOM CHURCH STREET, PARRAMATTA**

CLIENT: **MANSION GROUP PTY LTD**

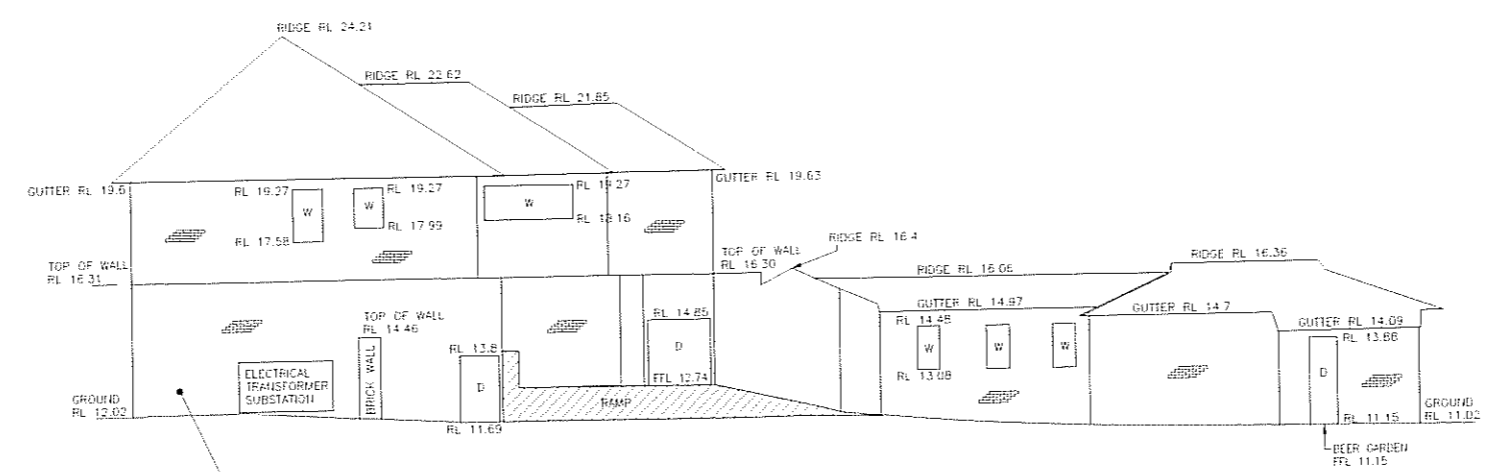
SHEET	3	OF	4
DRAWING NUMBER	113937500	REV	01



DETAIL 2



DETAIL 3



DETAIL 4

1 BOUNDARIES HAVE NOT BEEN SURVEYED



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LEGEND:

SEWER MAIN/POLE	UNGLASS ELECTRICITY	UNGLASS SERVICE	STATE SURVEY MARK
SEWER SEWER	POWER POLE	UNGLASS WATER	SURVEY MARK
SEWER VENT	LIGHT POLE	WATER METER	STOP VALVE
SEWER LAMP/POLE	ELECTRICITY PIT	STOP VALVE	SAP
TELEPHONE PIT/POLE	UNGLASS SERVICE	HYDRAUNT	
TELEPHONE PIT	UNGLASS WATER		
TELEPHONE PIT	WATER METER		
TELEPHONE PIT	STOP VALVE		
TELEPHONE PIT	SAP		
TELEPHONE PIT	HYDRAUNT		

UNGLASS SERVICE	UNGLASS WATER	STOP VALVE	SAP	HYDRAUNT
STATE SURVEY MARK	SURVEY MARK			

REVISION	DATE	DESCRIPTION
D1	01-10-09	MINOR AMENDMENTS
D0	29-09-09	ORIGINAL ISSUE

113937AA	CAD REF	CWH	APPROVED
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SCALE:	HORIZ. 1:100	VERT. B1
CONTOUR INTERVAL:	MAJOR 1.0m	MINOR 0.2m
COORD. SYSTEM:	MGA	MARK ADOPTEED: G5M 44076
		COORDINATES: E 315 298 017 N 6 255 830 863
DATUM:	AHD	VERTICAL DATUM
		BM ADOPTEED: G5M 44076
		RL: 11.567m

HARD & FORESTER HARD & FORESTER
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0411116 Austral
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e: survey@hardforester.com.au
www.hardforester.com.au

h&f
Consulting Surveyors

Hard & Forester Pty Ltd ABN 67 003 041 348

SURVEYED	M.C	DRAWN	J.T	CHECKED	PASSED
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PROJECT: **DETAIL SURVEY OF TRIVETT CAR SHOWROOM CHURCH STRETT, PARRAMATTA**

CLIENT: **MANSON GROUP PTY LTD**

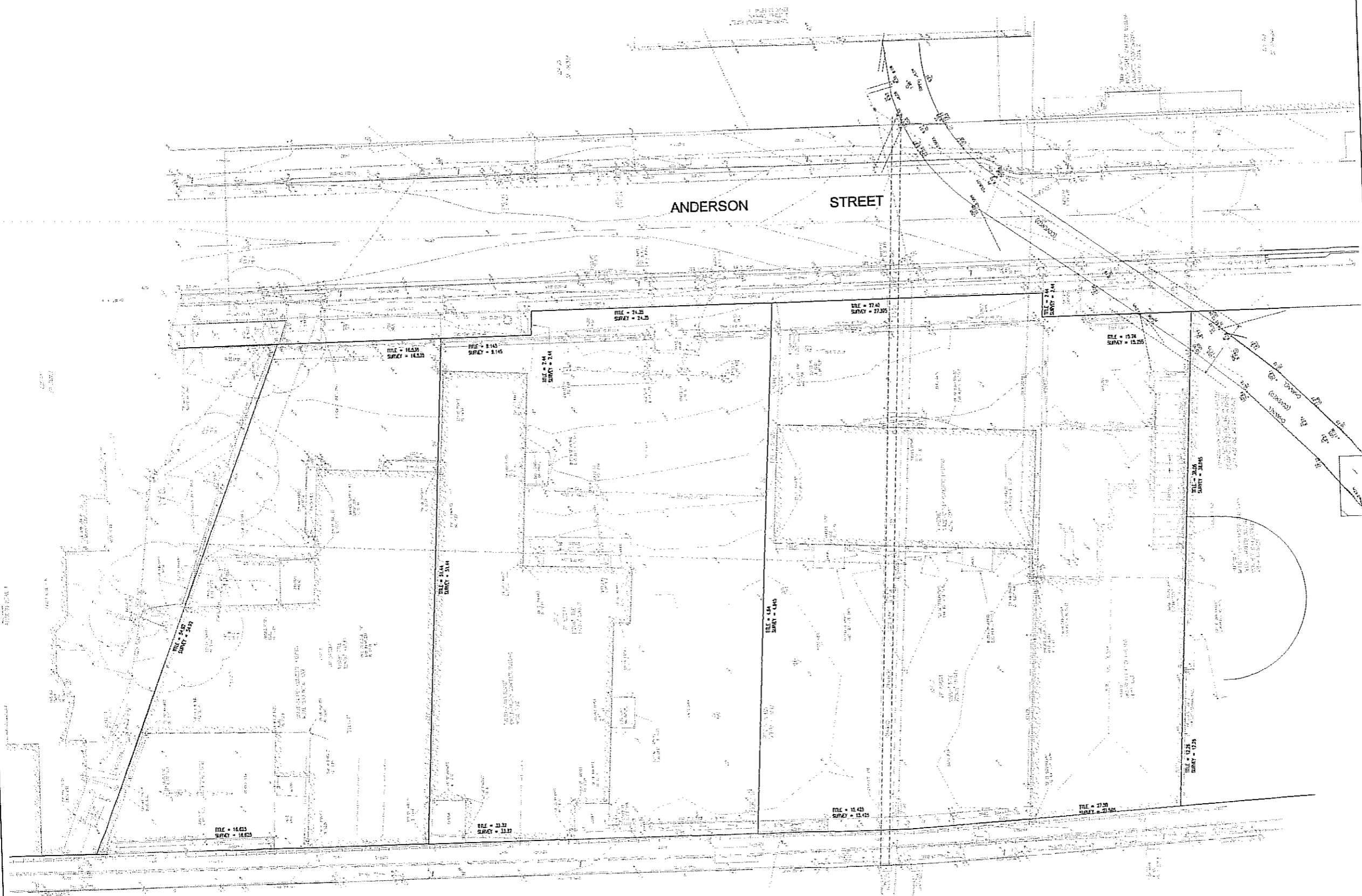
SHEET	4	OF	4
DRAWING NUMBER	113937500	REV	01

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UNDERGROUND SERVICES SEARCH SHOULD BE UNDERTAKEN PRIOR TO ANY EXCAVATION TAKING PLACE UPON THE SITE.



CONCEPT DESIGN FOR DA, 24/05/11

NO.	DATE	REVISION	DETAILS

CPM ENGINEERING
 Civil & Structural Consulting Engineers

- STRUCTURAL DESIGN & FASTENING
- URBAN DRAINAGE DESIGN
- ROADS & PARKING DESIGN
- PROJECT MANAGEMENT
- ENVIRONMENTAL DESIGN

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PREPARED FOR
MASON GROUP DESIGN & CONSTRUCTION PTY LTD

TRIVETT CAR SHOWROOM
 CHURCH STREET, PARRAMATTA

ORIGINAL SIZE	A1	
SCALE	1:200	DATUM AHD
LONG SECTION	H	CROSS SECTION
	U	V
DATE OF PLAN	18/02/11	APPROVED
CHECKED	C.P.M.	<small>Drawn by: Name 15/02/2011 Checked Date: 18/02/11</small>
DRAWN	P.S.	
FILE NO	09115.000	CHEF 2 OF 8 SHEETS

SURVEY AND ASSESSMENT OF EXISTING
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